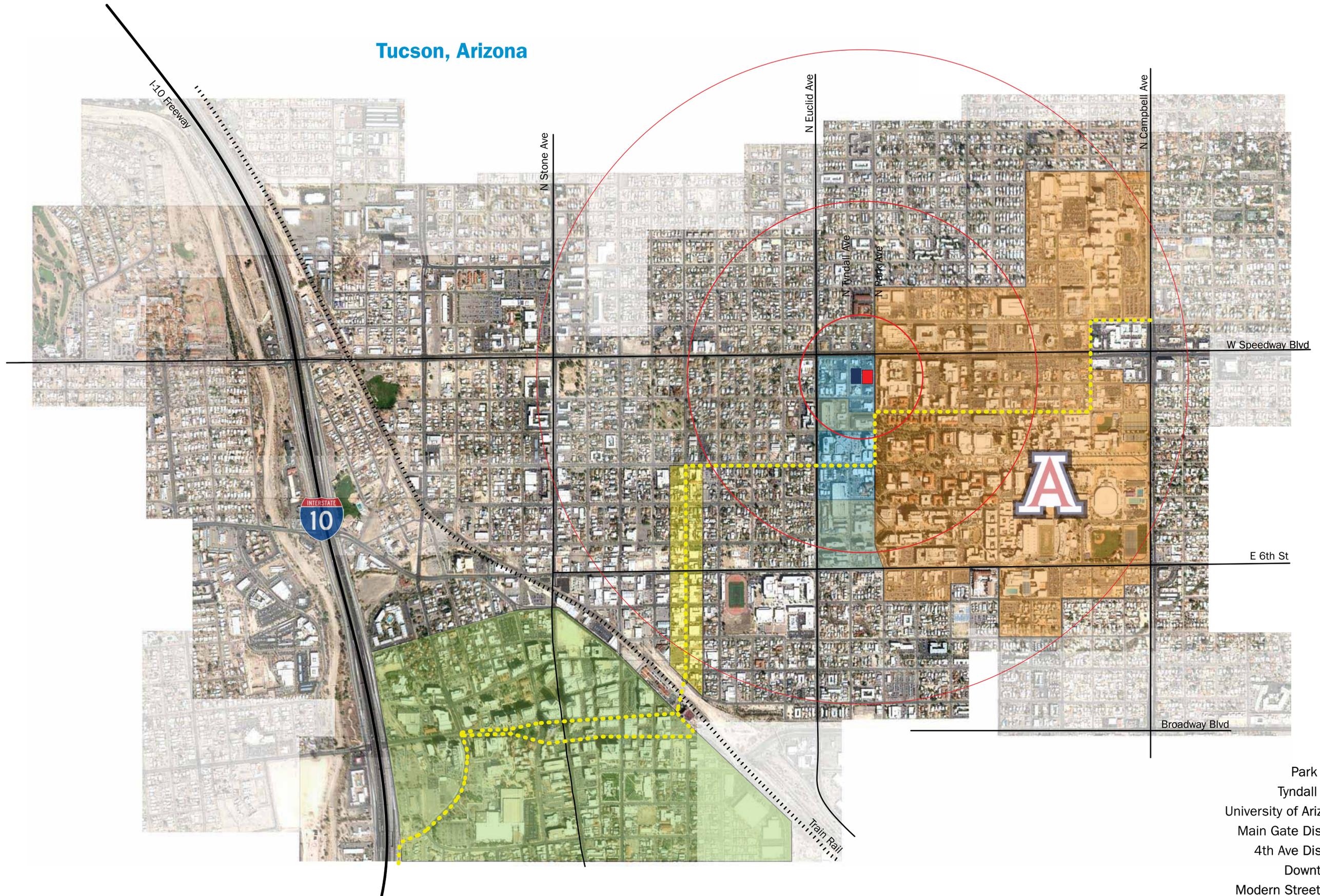


Park Avenue Housing



Tucson, Arizona



Key

- Park Site ■
- Tyndall Site ■
- University of Arizona ■
- Main Gate District ■
- 4th Ave District ■
- Downtown ■
- Modern Street Car ●●

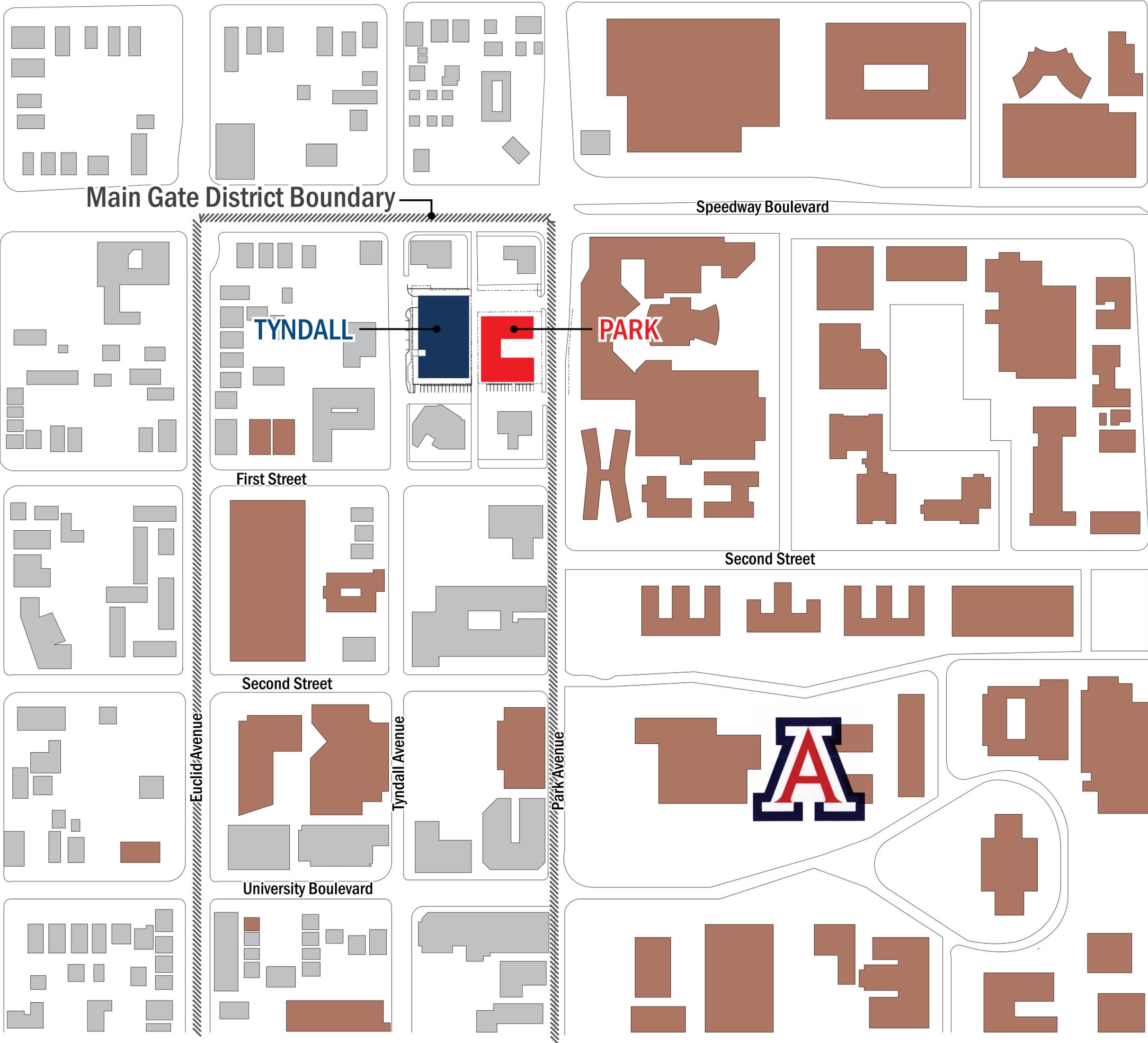
Park Avenue Housing

Shepley Bulfinch



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13SEPT2012
DRC:MTG



Main Gate District Boundary

Speedway Boulevard

TYNDALL

PARK

First Street

Second Street

Second Street

Euclid Avenue

Tyndall Avenue

Park Avenue

University Boulevard

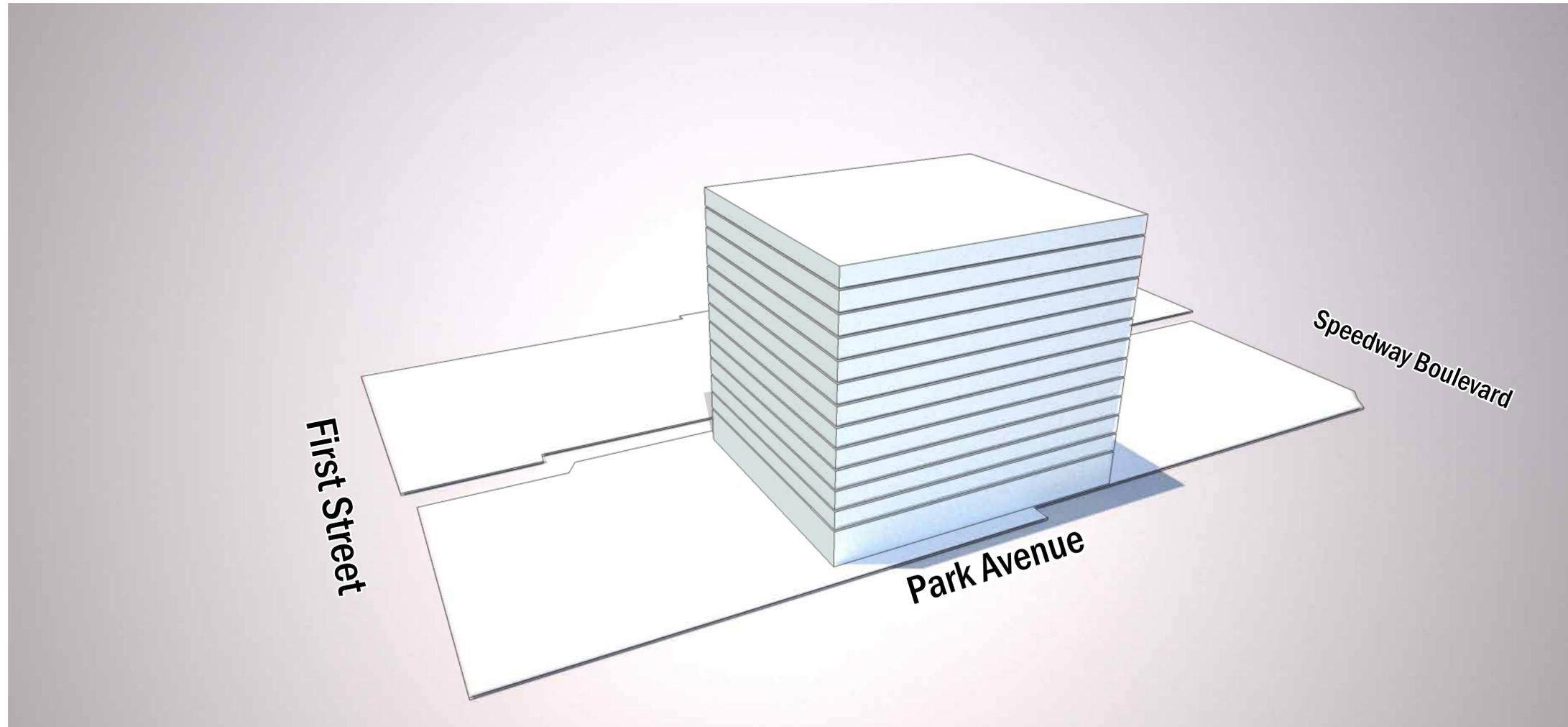
Key

University of Arizona Campus Buildings

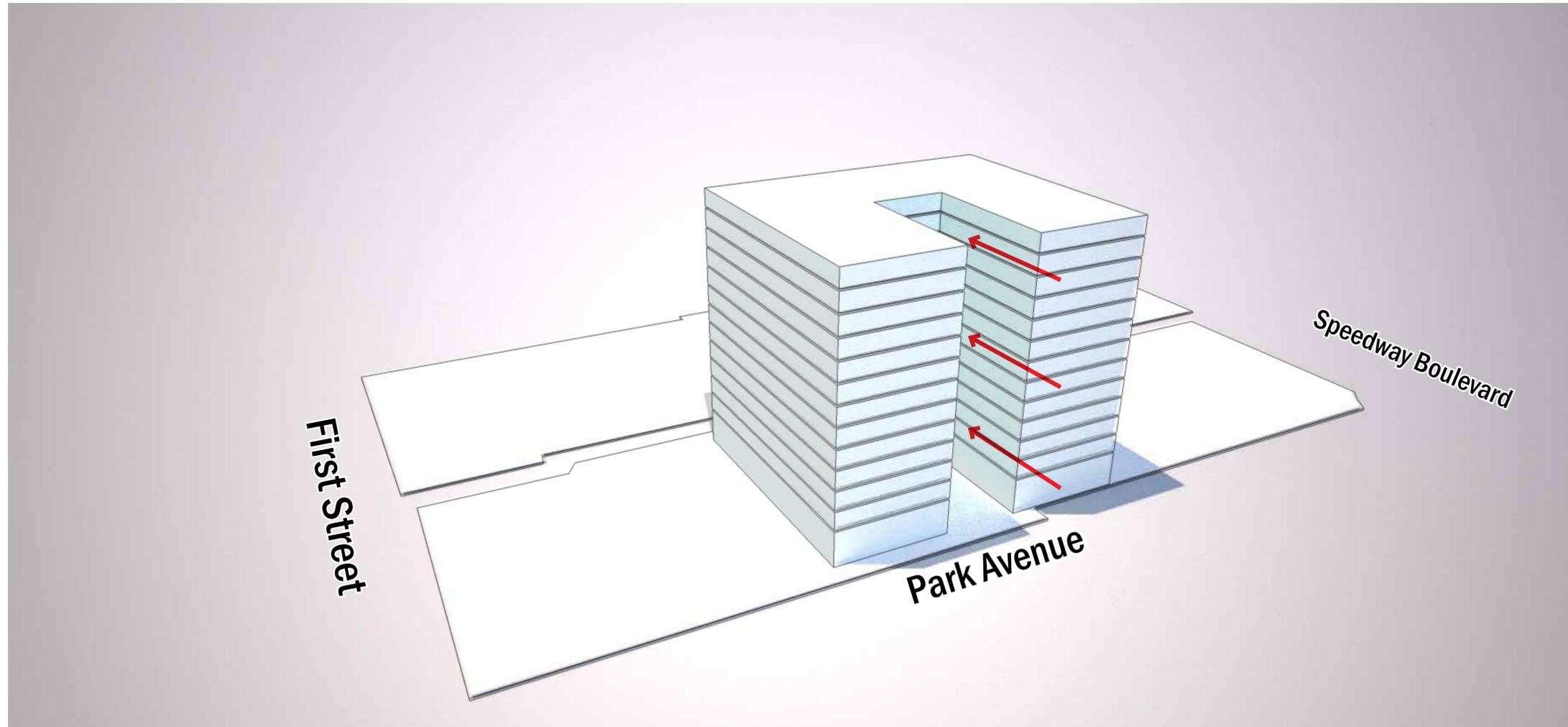
Park Avenue Housing
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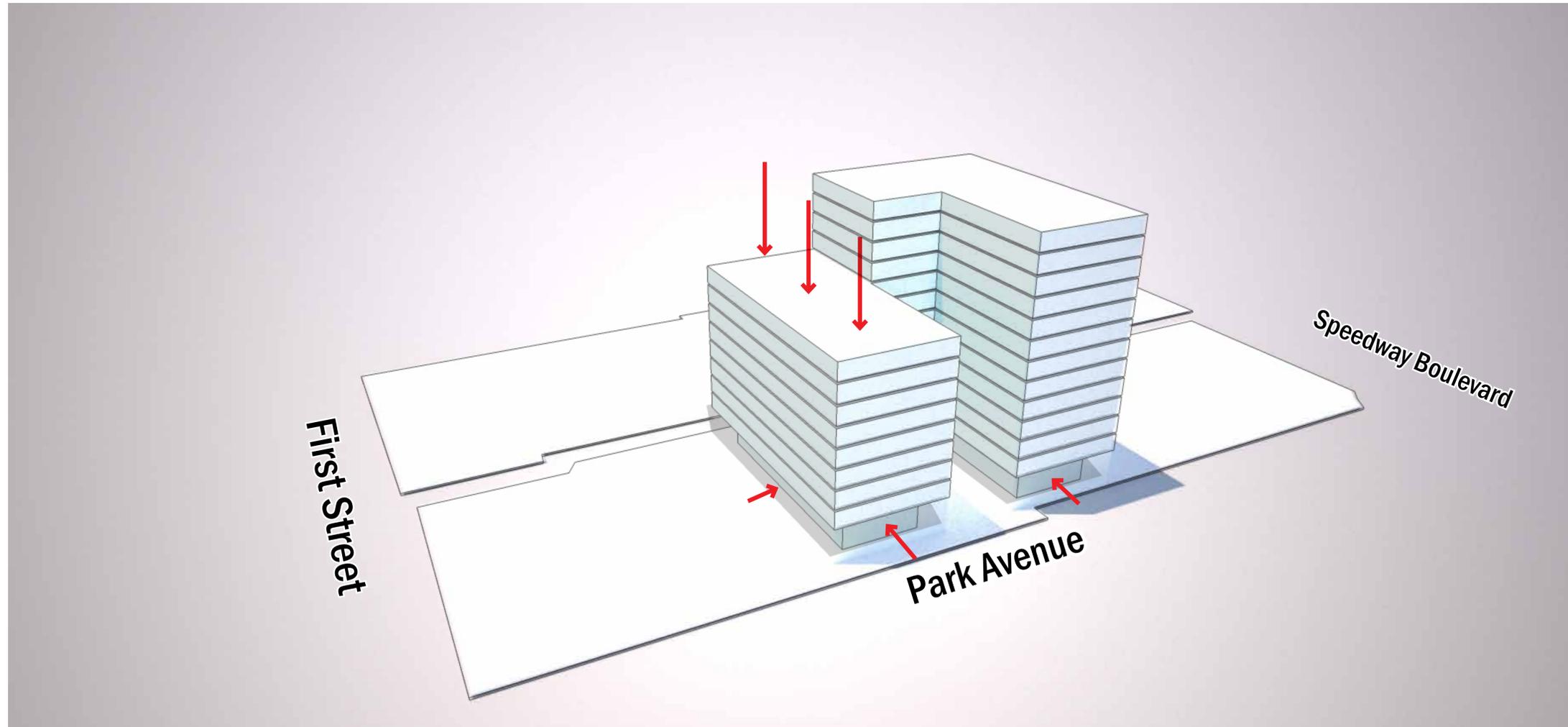
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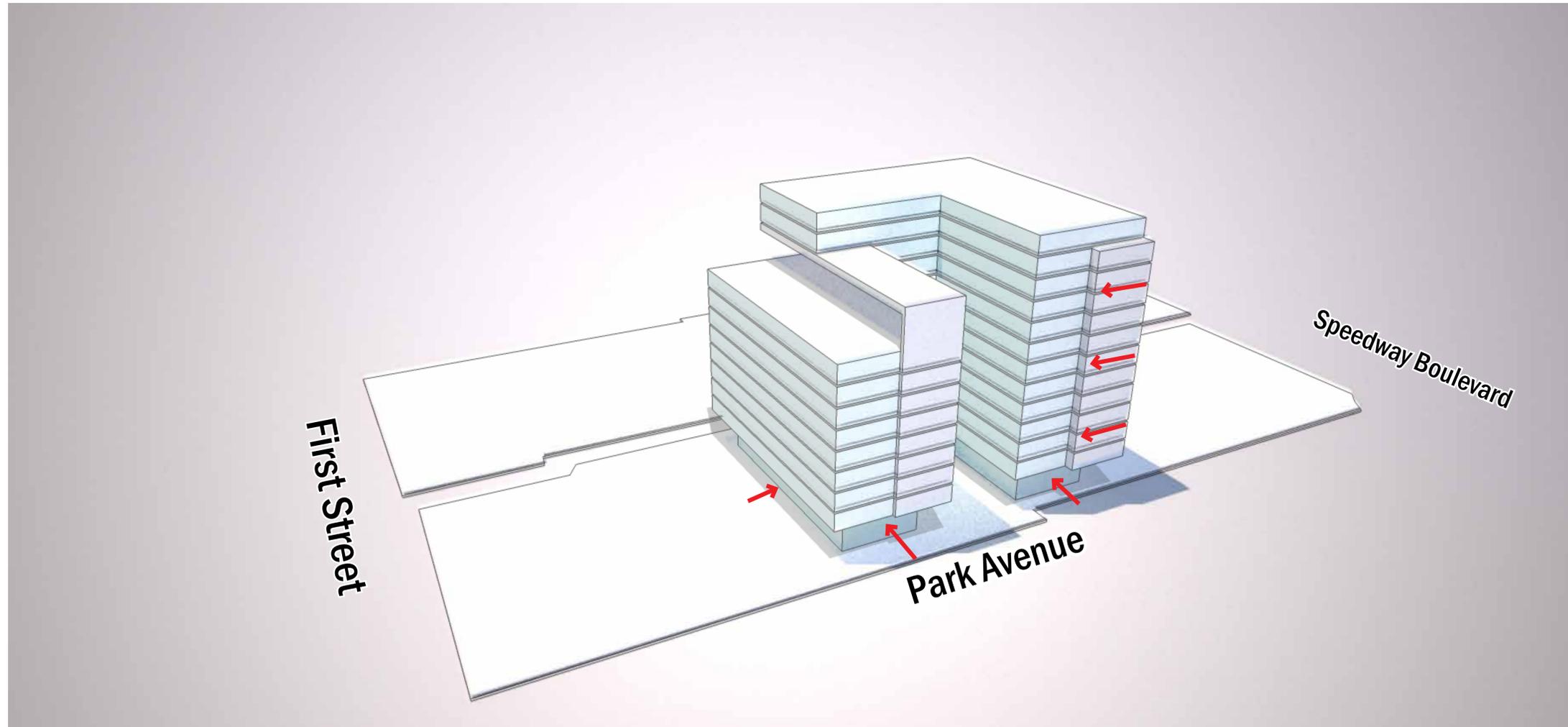
How Do We Carve the “Block”?



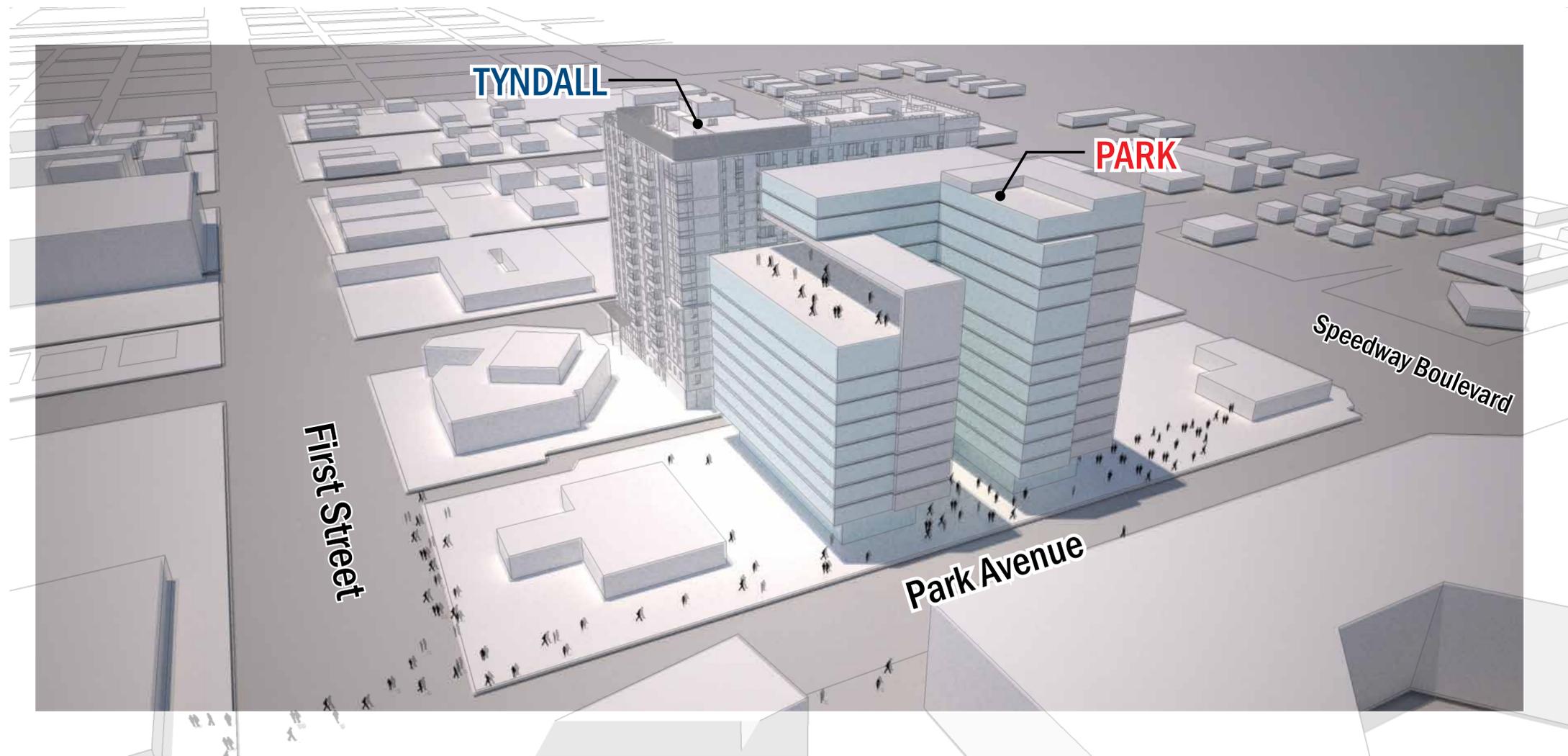
Light
Ventilation
Life Safety



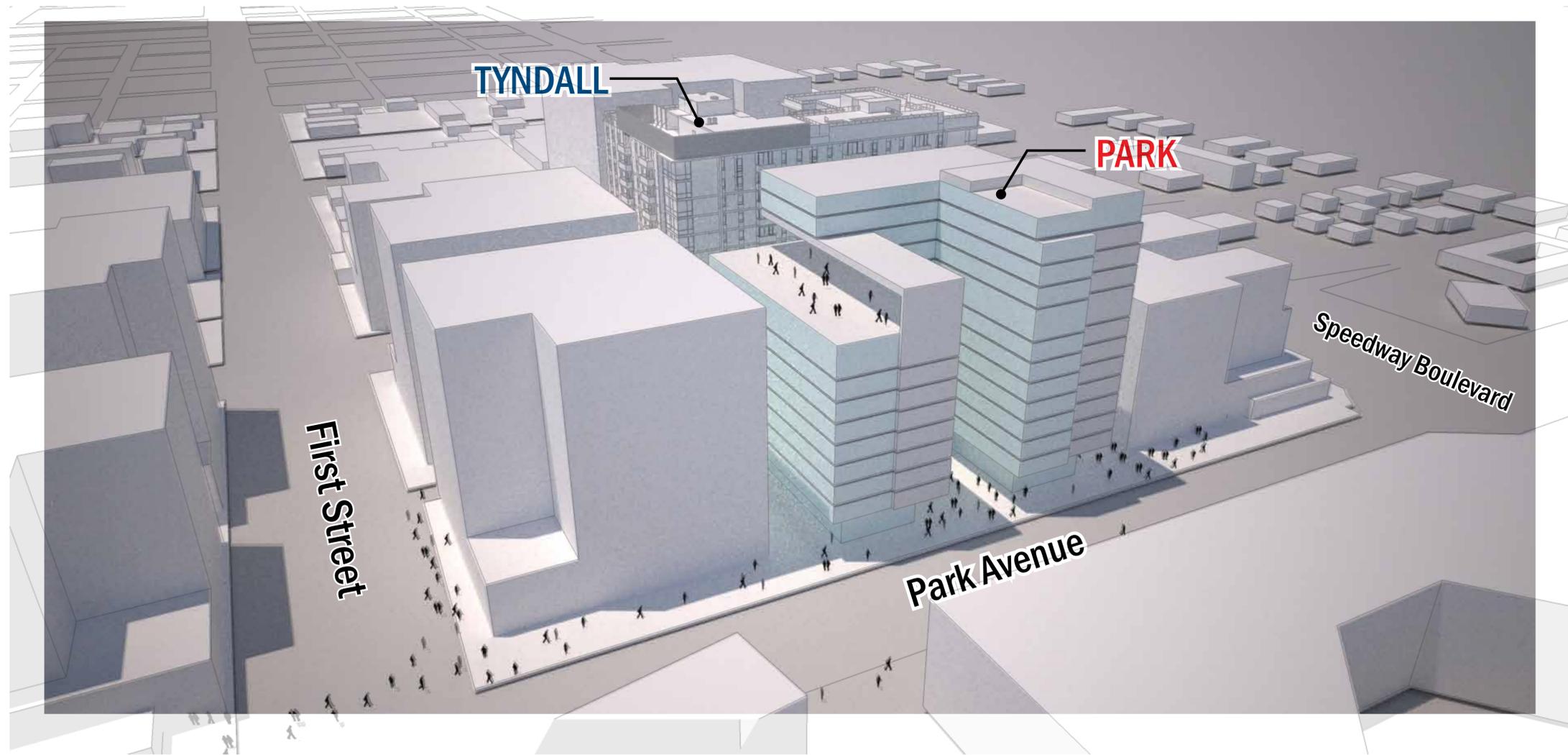
South Bar Lowered
Enhance Views Through Site
Courtyard Light
Street and Pedestrian Connectivity



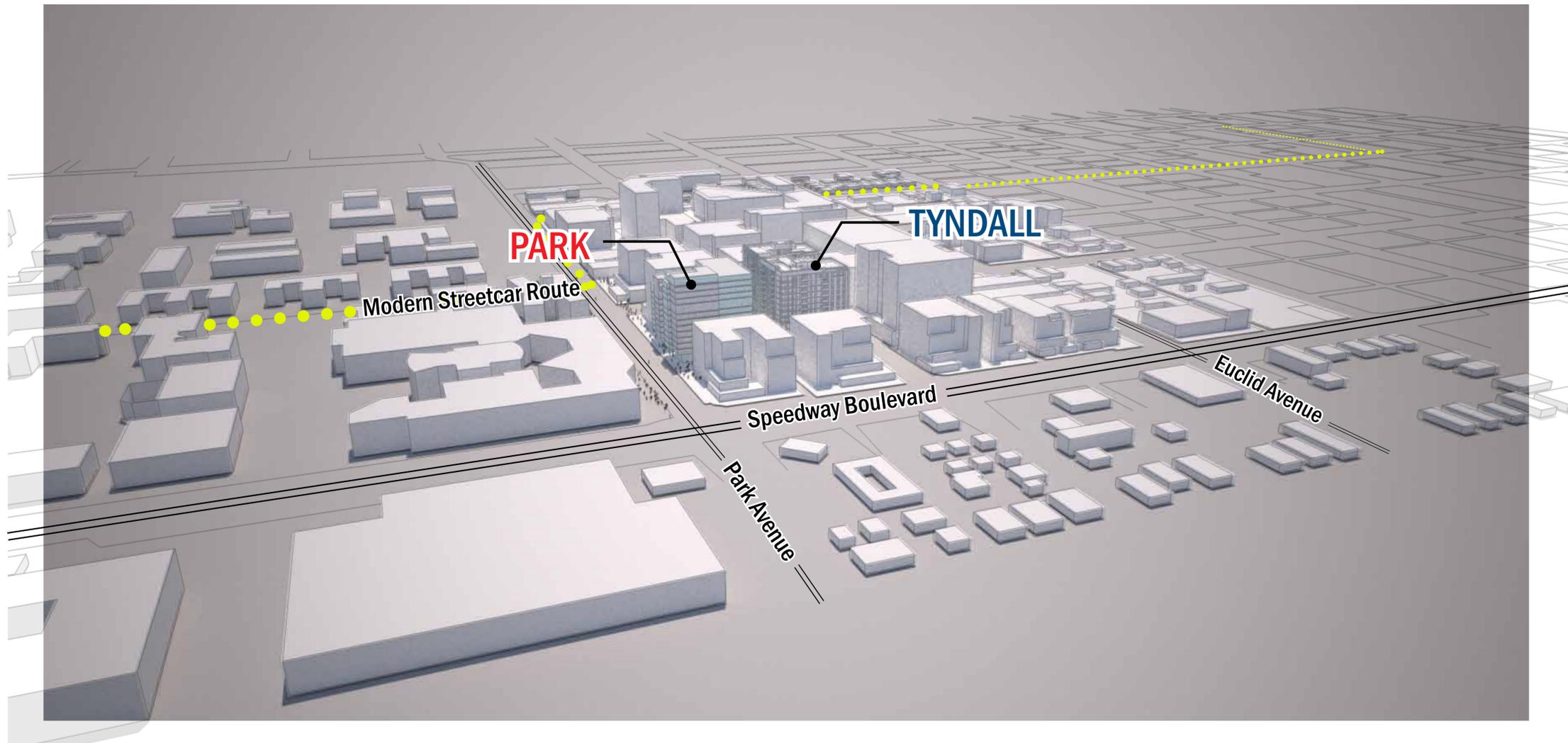
Transparency
Articulation



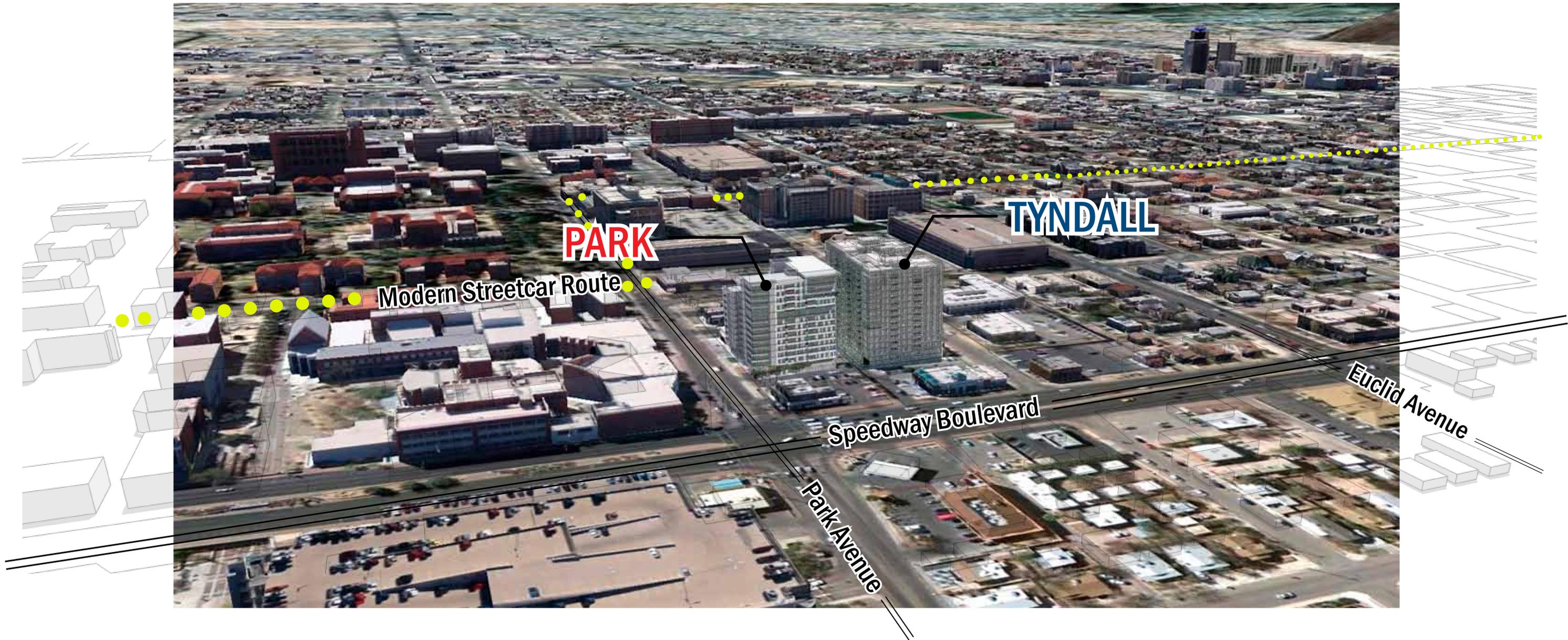
View From South East



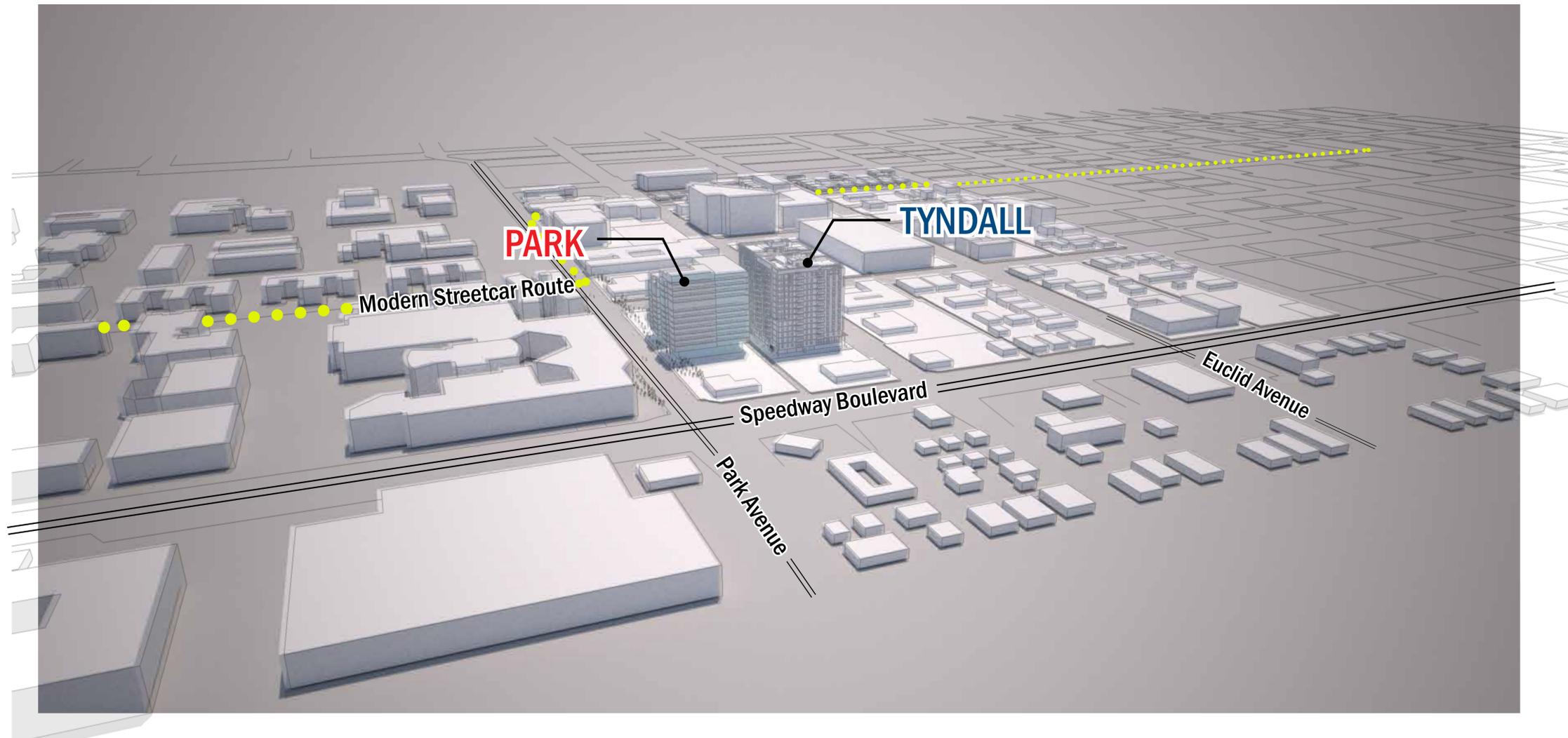
View From South East in Relationship to Future Context



Building in Relationship to Future Context



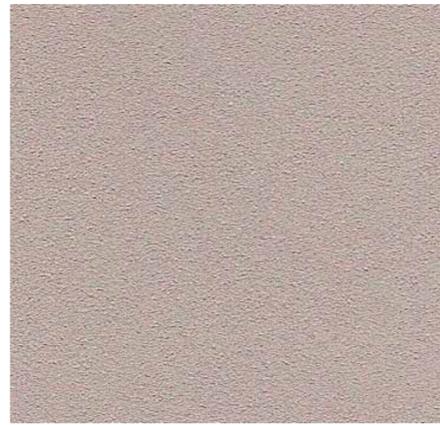
View from the North East



Building in Relationship to Current Context



**Composite Wood
"Copper"
LRV: 18**



**Synthetic Stucco
"Smoke Signal"
LRV: 41**



**Painted Steel
"Red"**



**Clear and Spandrel Glass and
Aluminum Storefront Entrance**



**Cast-in-Place Concrete
LRV: 30**



**"Inca Gray"
Basalt Natural Stone Tile**



**Metal Panel
"Ash Gray"
LRV : 41**



**Metal Panel
"Pre-weathered Galvalume"
LRV: 27**



Building Materials



View Looking South along Park Ave



View Looking Northwest along Park Ave

Park Avenue Housing
Shepley Bulfinch



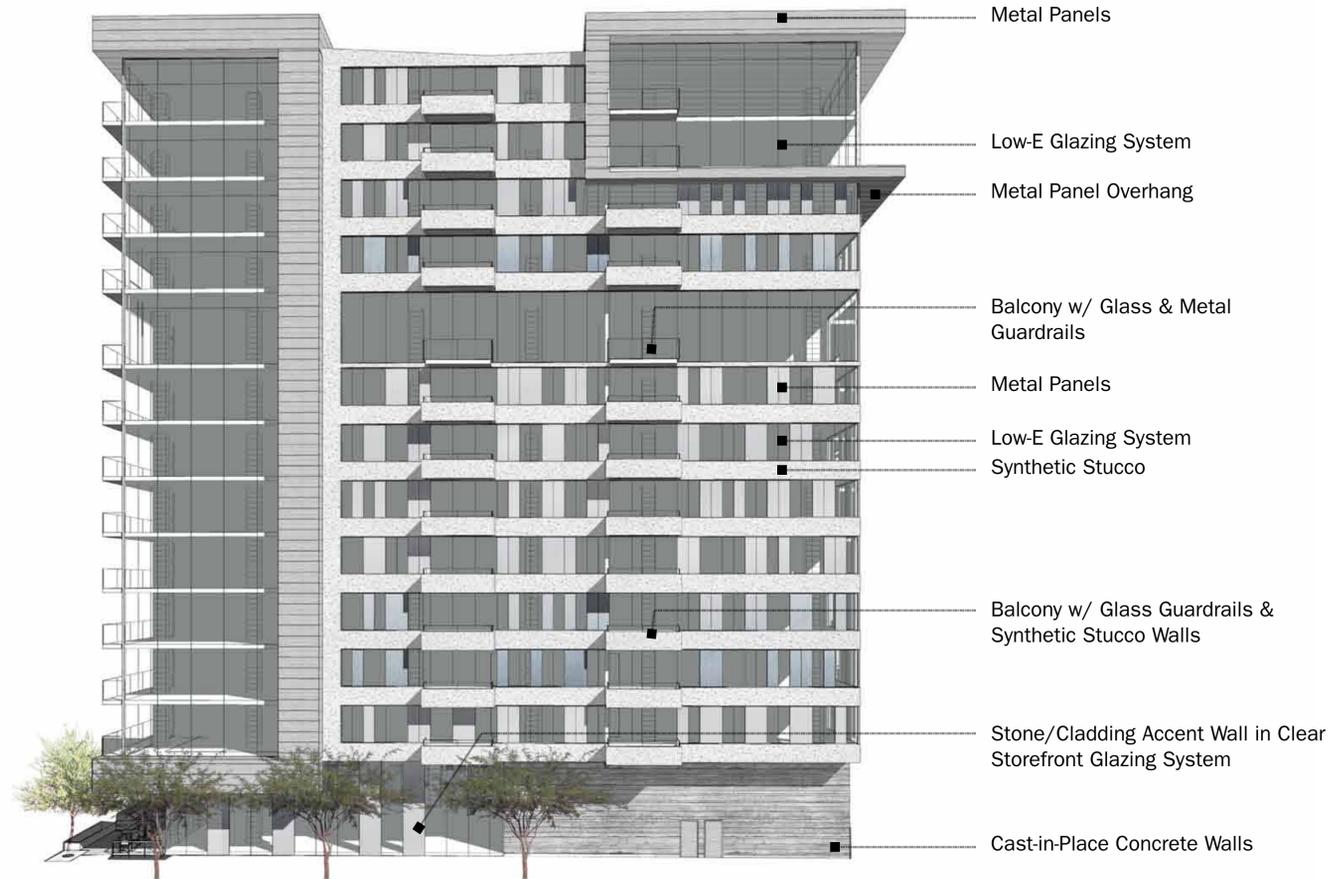
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13SEPT2012
DRC:MTG



East Elevation - Park Avenue

- Metal Panels
- Low-E Glazing System
- Balcony w/ Glass & Metal Guardrails
- Synthetic Stucco
- Spandrel Glass Panels
- Composite Wood Overhang at Residential Entrance
- Overhead Shading/Landscape Trellis at Courtyard
- Colored Metal Overhang at Mixed-Use Entries & Outdoor Gathering Areas
- Colored Metal Fins
- Stone/Cladding Accent Wall in Clear Storefront Glazing System
- Landscape Buffer at Pavers at Pedestrian Way



North Elevation - Speedway

- Metal Panels
- Low-E Glazing System
- Metal Panel Overhang
- Balcony w/ Glass & Metal Guardrails
- Metal Panels
- Low-E Glazing System
- Synthetic Stucco
- Balcony w/ Glass Guardrails & Synthetic Stucco Walls
- Stone/Cladding Accent Wall in Clear Storefront Glazing System
- Cast-in-Place Concrete Walls



West Elevation - Alley

- Metal Panels
- Synthetic Stucco
- Balcony w/ Glass Guardrails & Synthetic Stucco Walls
- Metal Panels set in Glazing System
- Low-E Glazing System
- Cast-in-Place Concrete Wall
- Access Doors- Solid at Trash, Louvered at Loading
- Parking Garage Ramp Entrance



South Elevation - Main Gate

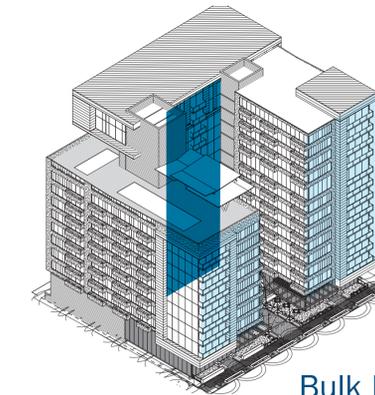
- Cast-in-Place Concrete Stair Walls
- Shading Element at Rooftop Amenity Deck
- Synthetic Stucco and Glass Parapet
- Metal Panels
- Low-E Glazing System
- Balcony w/ Glass Guardrails & Synthetic Stucco Walls
- Stone/Cladding Accent Wall in Clear Storefront Glazing System
- Shaded Outdoor Gathering Area at Street Front



Main Gate District Zoning Requirements

- A-4 Not listed on the National Historic Register
- C LAND USE
 - C-2.a Permitted Use Group | Group Dwelling
 - C-2.b Required Mixed-Use at Park Avenue
- C-3 DEVELOPMENT STANDARDS
 - Maximum Setbacks from Property Lines

	Allowed	Provided
Street Front	15'	9'-6" 10'-6"
Alley Side	0'	12'
Sides	0'	5'-9"-south 12'-3"-north
 - Minimum Open Space 25 sf per DU
 - Minimum Landscape Area 25% of open space at grade
 - Minimum 8' wide sidewalk along Park Ave
- C-4 Residential Parking .25 space/DU
- C-5 Retail Parking 2 spaces minimum
 - Short Term Bicycle Parking .3 spaces/DU
 - Long Term Bicycle Parking .3 spaces/DU
 - Bike Share Program
- C-6 LOADING AND WASTE
 - C-6.a.2 Off Street Loading Zone 12' x 24' min
 - C-6.b Grouped Utilities not visible from street
- C-10 Areas of Open Space must be 300 sf min, min 15'
- C-15 Continuous expanses of concrete may not exceed 100 sf in ROW
- C-16 ENVIRONMENTALLY CONSCIOUS DESIGN
 - Provide 70% shade at parking areas
 - Provide 70% shade at pedestrian areas
 - Provide 100% desert-adapted plant species
 - Provide porous/permeable paving by planting areas
 - Provide Car Share Program on site.
- C-17 Maximum Building Height allowed -13 stories | 148' 140' t.o. roof | 150' t.o. mech
 - C-17.b 25% of street-front facade above base shall be set back 12' min



30% Of the street-facing facade set back at least 12' from property line

Bulk Reduction Diagram

MGD Design Standard Compliance

ENVIRONMENTALLY CONSCIOUS DESIGN PRACTICES COMPLIANCE (SECTION C-16) (5 MIN REQ'D)

1. PROVIDE SHADE FOR AT LEAST 70% OF PARKING AREAS
2. PROVIDE SHADE FOR AT LEAST 70% OF PEDESTRIAN AREAS
3. PROVIDE 100% DESERT-ADAPTED PLANT SPECIES. SPECIES CHOSEN MUST ADHERE TO THE AZ DEPT OF WATER RESOURCES TUCSON AMA DROUGHT TOLERANT/LOW WATER USE PLANT LIST.
4. PROVIDE POROUS CONCRETE OR PERMEABLE PAVING ADJACENT TO PLANTING AREAS.
5. IMPLEMENT CAR SHARE USE OR INCORPORATE A TRANSIT STOP ON-SITE.

BUILDING FACADES DESIGN STANDARD COMPLIANCE (SECTION C-19.a.i) (2 MIN REQ'D)

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3. WINDOW DISPLAYS OR VISIBLE ACTIVITY ON THE GROUND FLOOR.
4. OUTDOOR DINING OR GATHERING PATIO, DELINEATED BY BUFFER DEVICES.

UTILITY FACILITIES DESIGN STANDARD COMPLIANCE (SECTION C-8)

1. GROUND FLOOR VENTS SHALL BE ORIENTED AWAY FROM PEDESTRIAN PLAZAS AND AREAS AND BUILDING STREET FRONTAGE.
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MAINTENANCE DESIGN STANDARD COMPLIANCE (SECTION C-11)

1. PROPERTY OWNER SHALL REPLACE OR REPAIR VANDALIZED ELEMENTS WITHIN 48 HOURS AND SHALL REPLACE DEAD OR MISSING VEGETATION WITHIN 14 DAYS TO ENSURE FULL COMPLIANCE WITH APPROVED LANDSCAPE PLANS.
2. PROPERTY OWNER IS RESPONSIBLE AT ALL TIMES FOR MAINTENANCE OF LANDSCAPE, HARDSCAPE, BUILDING ARCHITECTURAL ELEMENTS AND SITE FURNISHINGS INSTALLED IN THE PUBLIC RIGHT-OF-WAY.

GENERAL MGC DESIGN STANDARDS COMPLIANCE NOTES (SECTION C-19)

1. LIGHTING STRATEGIES SHALL REDUCE OR PREVENT GLARE AND LIGHT TRESPASS, CONSERVE ENERGY, AND PROMOTE SAFETY AND SECURITY.
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3. SOURCES OF LIGHTING SHALL BE RECESSED AND SHIELDED SO THAT THE BULB ITSELF IS CONCEALED FROM PUBLIC RIGHT-OF-WAY VIEW.
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5. THE USE OF COLOR SHOULD BE COMPATIBLE WITH THE HISTORIC TRADITIONS OF THE UNIVERSITY OF ARIZONA, CITY OF TUCSON, AND ADJACENT NEIGHBORHOODS. ACCENT COLORS SHOULD BE USED CONSISTENTLY THROUGHOUT THE BUILDING; IN SIGNAGE, ARCHITECTURAL FEATURES, LIGHTING, WINDOW FRAMES, DOORS AND ACCENT WALLS.
6. GLAZING SHALL BE LOW-E AND SHALL ALLOW A VISUAL CONNECTION THROUGH EITHER SIDE OF THE WINDOW.

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 - C-6.a.2 Off Street Loading Zone 12' x 24' min
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OPEN SPACE

6816 SF open space at amenity level.

- METAL PANEL, TYP.
- GLASS, TYP.
- OPEN SPACE 6,816 SF
- SHADE CANOPY
- GLASS, TYP.
- BALCONY, TYP.
- SYNTHETIC STUCCO, TYP.

EQUIP

Rooftop building equipment shielded from view

150'-0" T.O. MECH EQUIP SCREENING

13

12

11

10

143'-6" T.O. ROOF

9

8

7

6

5

4

3

2

1

ACTIVE

Visible retail / mixed use activities at grade and street front.

UTILITY FACILITIES LOCATED AT REAR OF PROPERTY OFF THE ALLEY

0'-8" FINISH FLOOR

SHADE CANOPY OVERHANG

RETAIL 2, VISIBLE ACTIVITY AT GROUND LEVEL

OPEN SPACE 6,336 SF

SHADE CANOPY OVERHANG

RETAIL 1, VISIBLE ACTIVITY AT GROUND LEVEL

0'-0" FINISH FLOOR

12'-3" SETBACK

18'-3"

OPEN SPACE

6,336 SF open space at grade level. Integrated shading and landscape elements and paving patterns in public row & on property courtyard.

SHADE

Overhangs and trellis structures above building entries.

UTILITIES

Building utilities and services located off of the alley, away from street view.

SETBACK

Eight foot wide minimum pedestrian sidewalk along street frontage

10'-6" SETBACK TO CURB

21'-0"

5'-9" SETBACK

Park Ave

Building Axon Diagram

Park Avenue Housing
Shepley Bulfinch



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REQ'D: 25% MIN
PROVIDED: 48'-0" / 158'-0" = 30%

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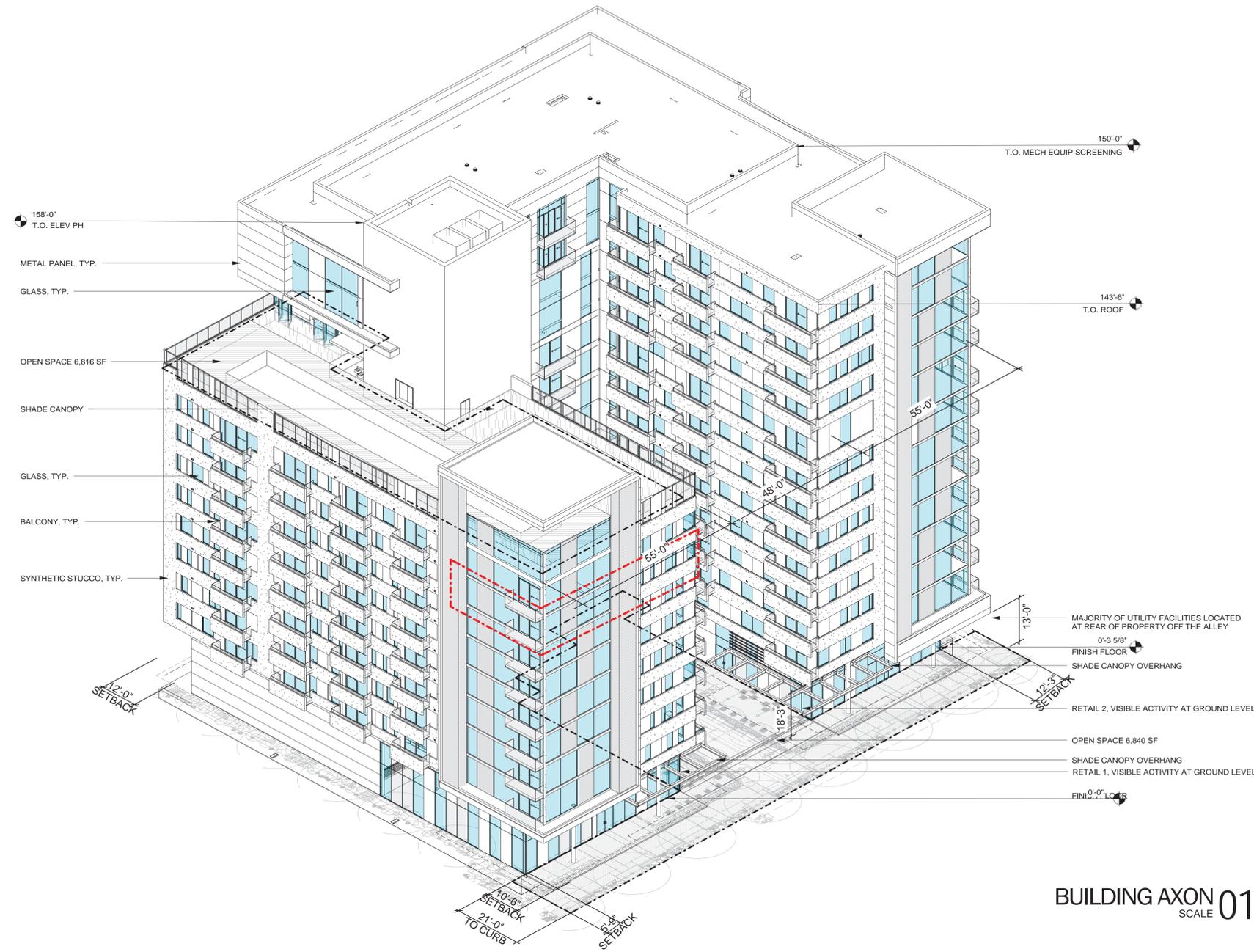
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BUILDING AXON 01
SCALE 01

DP12-0132

CITY OF TUCSON	DEVELOPMENT PACKAGE
	PDS APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT UNDER MAIN GATE ZONING DISTRICT OPTION

C.O.T. ADMINISTRATIVE ADDRESS: 1031 NORTH PARK AVE
#

CIVIL ENGINEER	LANDSCAPE ARCHITECT	<h2>Shepley Bulfinch</h2> <p>Shepley Bulfinch Richardson & Abbott Architecture / Planning / Interiors / Est. 1874 1437 North 1st Street Suite 201 Phoenix, AZ 85004 p 602-430-3223 f 602-254-1501 www.ShepleyBulfinch.com</p>
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	PARK AVE HOUSING DRI / CA TUCSON II, LLC 161 N CLARK STREET, SUITE 4900 CHICAGO, IL 60601						
	DEVELOPMENT PACKAGE ZONING AXON A PORTION OF LOT 8, LOTS 9, 12 AND 13 OF BLOCK 28 OF FELDMAN'S ADDITION BOOK 2, PAGE 35 OF MAPS AND PLATS, BEING A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA						
DESIGNED	DRAWN	CHECKED	SHEET				
-	-	-	A002				
NO.	DATE	DESCRIPTION	DATE	PROJECT NUMBER	SCALE	3 OF 24	
	12/18/12			04036			

C9-12-01

THE ORIGINAL OF THIS DRAWING IS 24" X 36". IF THIS COPY IS ANY OTHER SIZE, IT HAS EITHER BEEN REDUCED OR ENLARGED. TAKE APPROPRIATE PRECAUTIONS ACCORDINGLY.

Park Avenue Housing

Shepley Bulfinch

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25 JUNE 2014
DRC: MTG

"AS PERMITTED" - JULY 11, 2013 PERMIT SET

1 SHADE CANOPY REVISION
 • ICONIC SHADE CANOPY REVISED AT AMENITY DECK TO COMPLEMENT ADDED SHADE STRUCTURES.

2 MATERIAL REVISION
 • HORIZONTAL VOLUME ON LEVEL 12 AND LEVEL 13 HAS BEEN REVISED FROM THE PROPOSED METAL PANEL TO EIFS TO COORDINATE WITH THE COMPOSITION OF THE CORNERS ON PARK AVE. METAL PANEL RELOCATED TO PARK AVE ELEVATION.

3 GLAZING REVISION
 • GLAZING WAS REVISED TO PROVIDE A MORE ENERGY EFFICIENT FAÇADE THAT WAS ACCEPTABLE TO THE 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND CITY OF TUCSON COM-CHECK. REFER TO GLAZING STUDY.

4 BALCONY REVISION
 • BALCONY LOCATIONS REVISED FROM PARK AVE (EAST ELEVATION) TO NORTH, SOUTH, AND WEST ELEVATIONS WITH ADDITIONAL UPDATES IN COURTYARD TO CONTROL ACTIVITY CONCERNS EXPRESSED IN DRC REVIEW. LEVEL 12 AND LEVEL 13 NORTH EAST BALCONIES (2 TOTAL) HAVE BEEN REVISED FROM FULL DEPTH TO A REDUCED JULIET BALCONY. REFER TO IMAGES ON PAGE 3 OF 3 FOR LOCATION.

5 MATERIAL REVISION
 • ON THE NORTH, WEST, AND SOUTH FAÇADES THE LEVEL 1 WALL HAS BEEN REVISED FROM BOARD FORMED CONCRETE WALL TO A COLORED FIBER CEMENT BOARD PANEL TO PROVIDE A MORE FRIENDLY MATERIAL AT PEDESTRIAN LEVEL.

6 GLAZING REVISION
 • STOREFRONT GLAZING RELOCATED TO INTERIOR COURTYARD TO ACTIVE PUBLIC SPACE AND TO PROVIDE VISUAL SEPARATION FROM ADJACENT PARKING LOT FOR RETAIL TENANT.

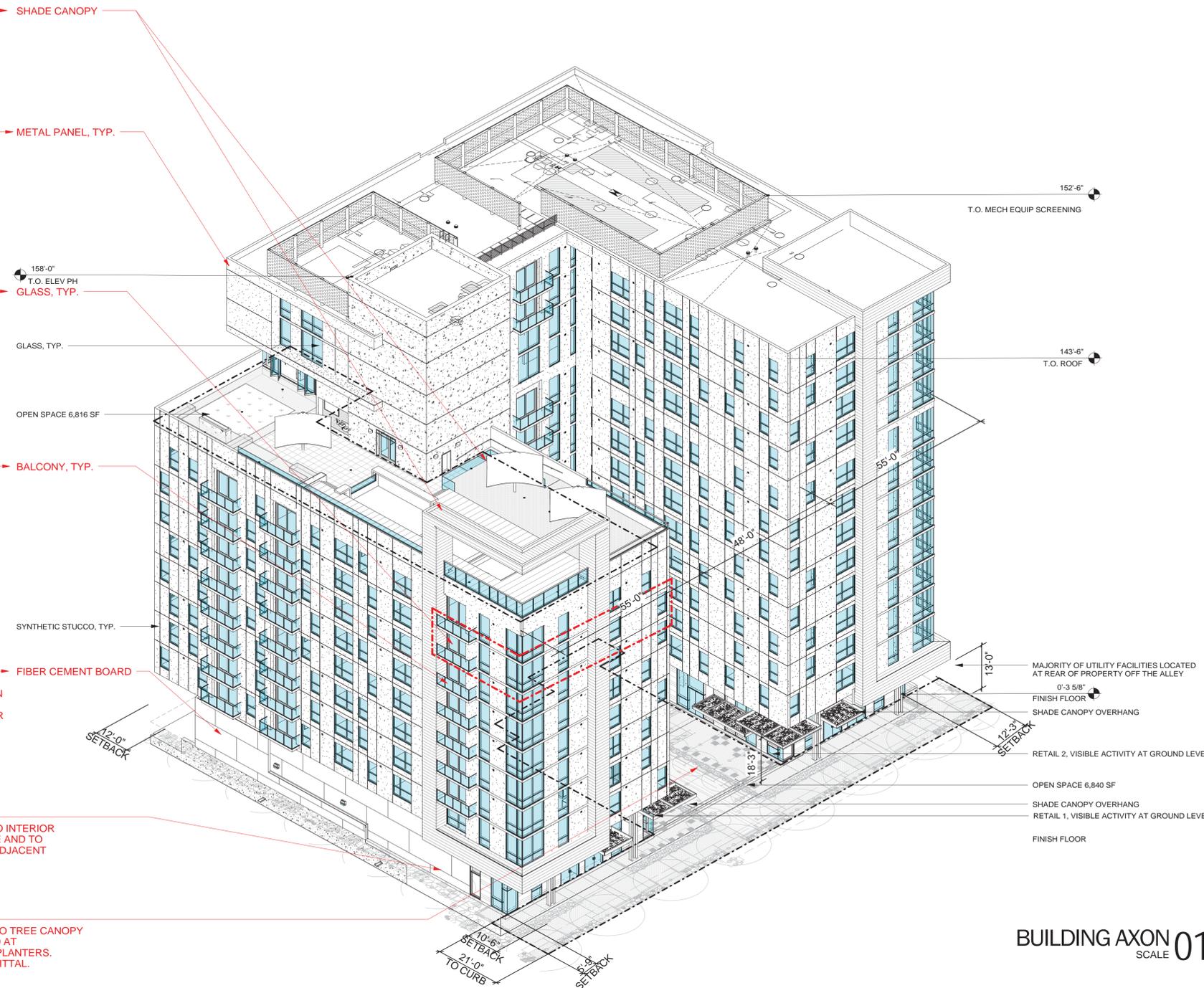
7 LANDSCAPE REVISION
 • OVERHEAD SHADE TRELLIS REVISED TO TREE CANOPY WITH LANDSCAPE LIGHTING PROVIDED AT PEDESTRIAN LEVEL IN BENCHES AND PLANTERS. REFER TO REVISED LANDSCAPE SUBMITTAL.

GLAZING STUDY

REFER TO OUTLINE ON AXON AT PARK AVE FAÇADE FOR REVISED GLAZING LOCATIONS AND PERCENTAGES DESCRIBED BELOW.

ORIGINAL DESIGN	UPDATED DESIGN
GLAZING SYSTEM: 56%	GLAZING SYSTEM: 46%
WALL SYSTEM: 44%	WALL SYSTEM: 54%

GLAZING WAS REVISED FROM 56% TO 46% PROVIDING A TOTAL DELTA OF 10% REVISION TO COMPLY WITH ENERGY EFFICIENCY REQUIRED PER 2012 IECC.



BUILDING AXON 01
SCALE 01

- 1. HEIGHT MASS TRANSITION:
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 6. THE DRC WILL PERFORM A SUBSEQUENT REVIEW SEPARATE FROM THIS CDRC DESIGN PROFESSIONAL REVIEW.
 7. COLORS AND MATERIALS THAT REFLECT GLARE SHOULD NOT BE USED IN LARGE QUANTITIES.

DP12-0132

CITY OF TUCSON	DEVELOPMENT PACKAGE
	PDSD APPROVAL
<input type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> SCZ
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> FRZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
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DVPKG MGR _____	Date _____
Zoning _____	Date _____
Engineering _____	Date _____
H/C Site _____	Date _____
Fire _____	Date _____
Landscape _____	Date _____
PL/ME _____	Date _____
Revision # _____	<input type="checkbox"/> per letter in SIRE

DEVELOPMENT UNDER MAIN GATE ZONING DISTRICT OPTION

C.O.T. ADMINISTRATIVE ADDRESS: 1031 NORTH PARK AVE
#

Shepley Bulfinch
 Shepley Bulfinch Richardson & Abbott
 Architecture / Planning / Interiors / Est. 1874
 1437 North 1st Street Suite 201 Phoenix, AZ 85004
 p 602 430 3223 f 602 254 1501
 www.ShepleyBulfinch.com

STAMP

PARK AVE HOUSING DRI / CA TUCSON II, LLC
 161 N CLARK STREET, SUITE 4900
 CHICAGO, IL 60601

DEVELOPMENT PACKAGE ZONING AXON

A PORTION OF LOT 8, LOTS 9, 12 AND 13 OF BLOCK 28 OF FELDMAN'S ADDITION BOOK 2, PAGE 35 OF MAPS AND PLATS, BEING A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA

DESIGNED	DRAWN	CHECKED	SHEET
-	-	-	A002
NO.	DATE	DESCRIPTION	REVISION
	04/28/14	PROJECT NUMBER	04036
		SCALE	3 OF 24

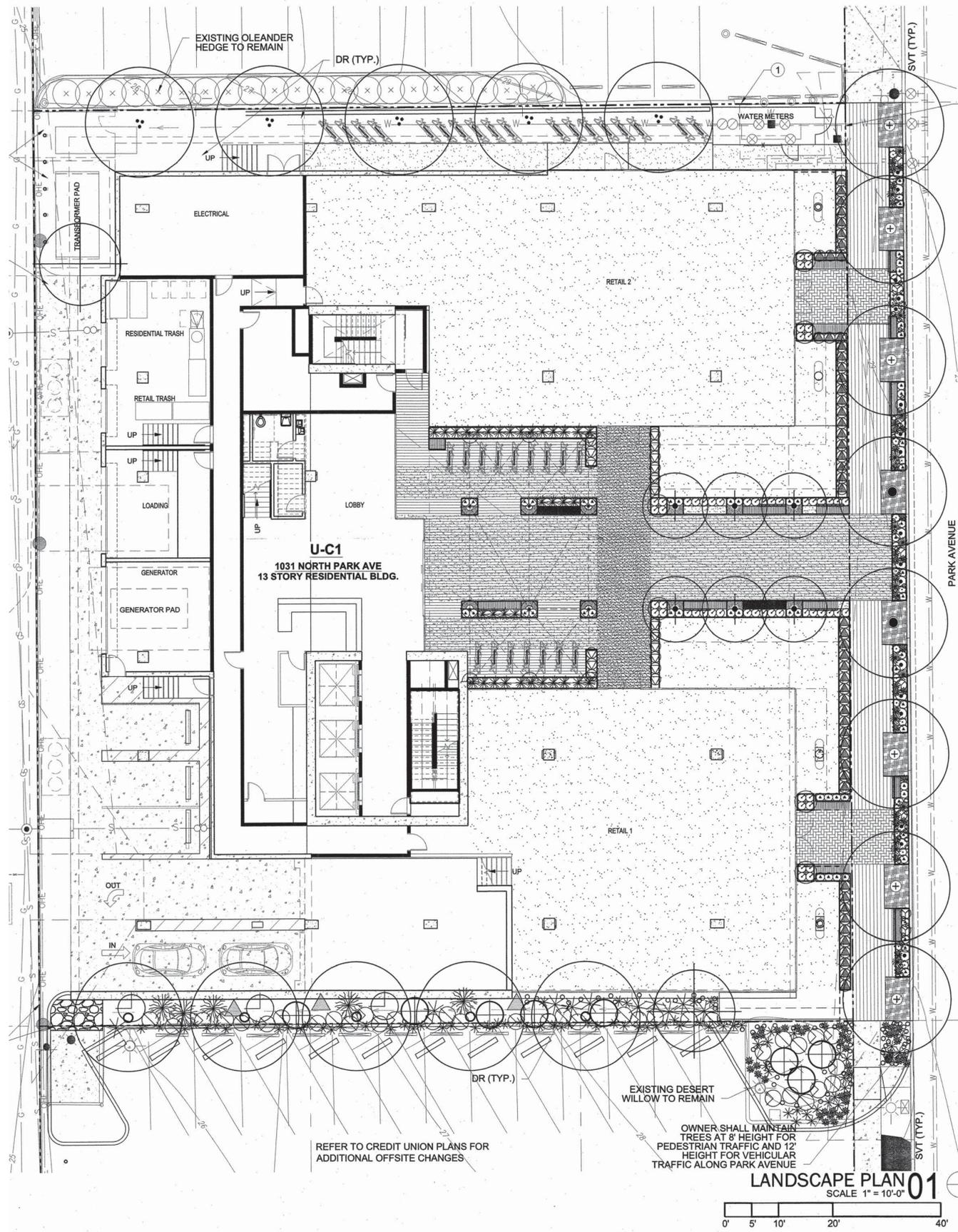
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Landscape Plan



LANDSCAPE LEGEND
Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

TREES

Symbol	Species	Size	Qty
●	Pistache x Red Push Red Push Pistache	48" Box	2
○	Prosopis hybrid 'Phoenix' Hybrid Phoenix Mesquite	48" Box	5
○	Celtis reticulata Netleaf Hackberry	48" Box	6
○	Parkinsonia sp. Blue Palo Verde	48" Box	5
○	Caesalpinia mexicana Mexican Bird of Paradise	36" Box	21
○	Acacia willardiana Palo Blanco	24" Box	10
○	Existing Species to Remain Varies	Existing	

SHRUBS

Symbol	Species	Size	Qty
○	Nolina matapensis Tree Beargrass	24" Box	8
○	Penstemon sp. Penstemon	5 gallon	185
○	Portulacaria afra Elephant Food	5 gallon	68
○	Sansserveria sp. Mixed Sansserveria	5 gallon	56
○	Bouteloua gracilis 'Blond Ambition' PP#22049	5 gallon	18
○	Muhlenbergia rigens Deer grass	5 gallon	34
○	Viguera daltoidea Golden Eye	5 gallon	18
○	Justicia californica Chuparosa	5 gallon	18
○	Podranea ricasoleana Pink Trumpet Vine	15 gallon espaller	6
○	Parthenocissus sp. Hacienda Creeper	15 gallon espaller	22

CACTI/SUCCULENTS

Symbol	Species	Size	Qty
○	Cereus peruviana monstrosa Night Blooming Cereus	36" box	3
○	Yucca rostrata Yucca rostrata	36" box 3 head min	11
○	Hesperaloe funifera Giant Hesperaloe	15 Gallon	10
○	Yucca sp. Yucca faxoniana	36" Box	9
○	Pachycereus marginatus Mexican Fence Post	15 gallon 3 spear min.	8
○	Opuntia ficus indica Thornless Prickly Pear	15 gallon	3
○	Lophocereus meckleyanus Native Totem Pole	24" Box	17
○	Euphorbia antisyphilitica Candelilla	5 gallon	74
○	Hesperaloe parviflora 'Perpa' 'Breaklights' ® Red Yucca	5 gallon	108
○	Pedilanthus macrocarpus Lady Slipper	15 gallon	104
○	Yucca sp. Yucca Rupicola	5 gallon	73
○	Asclepias subulata Desert Milkweed	5 gallon	34

INERT GROUNDCOVER
refer to HARDSCAPE MATERIALS LEGEND for composition, application and specifications.

LANDSCAPE REQUIREMENTS (Luc 3.7.2-1)

site -	25,229 sf. (.58 acres)
park row impacted -	1,872 sf.
total site area -	27,101 sf.
open space provided	6,336 sf.
landscape - required (25%)	1,584 sf.
landscape - provided	2,500+ sf.
street landscape tree along park @ 16'	5
landscape border trees (1/33')	8
landscape border trees provided	8

LANDSCAPE NOTES:

- contractor shall review landscape and irrigation materials and submit a list of material that may not be available for the anticipated construction period.
- contractor shall submit contract grow proposal with bid summary as the primary source of plant supply. contract grow shall include the following elements: secure all vegetation for the proposed project, store at nursery site in secluded roped off area, maintain ana nursery standards for plant development, provide protection for extreme heat and cold temperatures (below 20 degrees), provide 30 day summary reports of plant development including photos documenting the development and growth status of each species, coordinate site observation by the owner and owner representative 120 days prior to planting, 60 days, and delivery on site. nursery supplier shall maintain a 5% or greater supply than total quantities of plants indicated on the legend for plant loss, breakage, and damage for replacement.
- nursery supplier shall coordinate with the owner and review plants at the 120 and 60 day deadlines for plant acceptance. owner reserves the right to reject any plant during this period.
- plant material lost during the installation phase shall be replaced with equal or greater size at no additional cost to the owner. the owner and owner representative reserve the right to refuse any replacement vegetation not equal to or greater than the plants lost.
- inorganic ground cover is to be placed 2" deep in all planting areas, unless otherwise noted for alternate material.
- all landscape areas shall be depressed 6 inches to maximize storm water harvesting.
- final plant locations must be in compliance with all utility setback requirements.
- the contractor shall follow the landscape plans as closely as possible. any discrepancy in the plan vs. the field conditions shall be reported to the owner representative.
- the scheduling for planting of vegetation shall be at the discretion of the contractor. planting during extreme cold, hot, windy periods shall be performed at the contractor's risk. plant material that is damaged as a result of these weather conditions shall be removed and replaced at no additional cost to the owner.
- sleeve all pipes and wires under paved areas including streets and sidewalks. sleeves are not shown under sidewalks.
- irrigation lines are shown schematically; locate all line in unpaved areas.
- locate all lines within the property line when possible.
- the general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- the landscape and irrigation shall be installed per the associated specifications.
- all site contouring and finish grading shall be completed and accepted by the landscape contractor and architect prior to start of irrigation.
- irrigation system shall be operational prior to start of planting.
- contractor shall review the site and proposed planting and select 4 locations for testing of proper site drainage. pending result of drainage holes contractor shall continue with planting with drainage chimneys or forgo drainage chimneys based on test results. drainage chimneys shall be including in the base bid.
- all landscape and irrigation excavation shall be incorporated in finish site grading while maintain depressed landscape areas and low flow drainage areas. contractor may need to remove from site some excess soil.
- quantities are for agency review and use only, not for contractor take-offs.
- vegetation within the sight visibility triangle shall not interfere with the visibility plane described by two horizontal lines located 30" and 72" above finished grade or roadway surface.
- it is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per land use code (luc) section.
- trees along park avenue shall be maintained to 12' above pavement grade to allow truck and bus traffic. trees shall be maintained above 8' hardscape grade for pedestrian circulation.
- the owner understands that if the city of tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- the owner takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- the only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. all other equipment must be on private property (excluding water meter).
- the property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.

DEVELOPMENT UNDER MAIN GATE ZONING DISTRICT OPTION

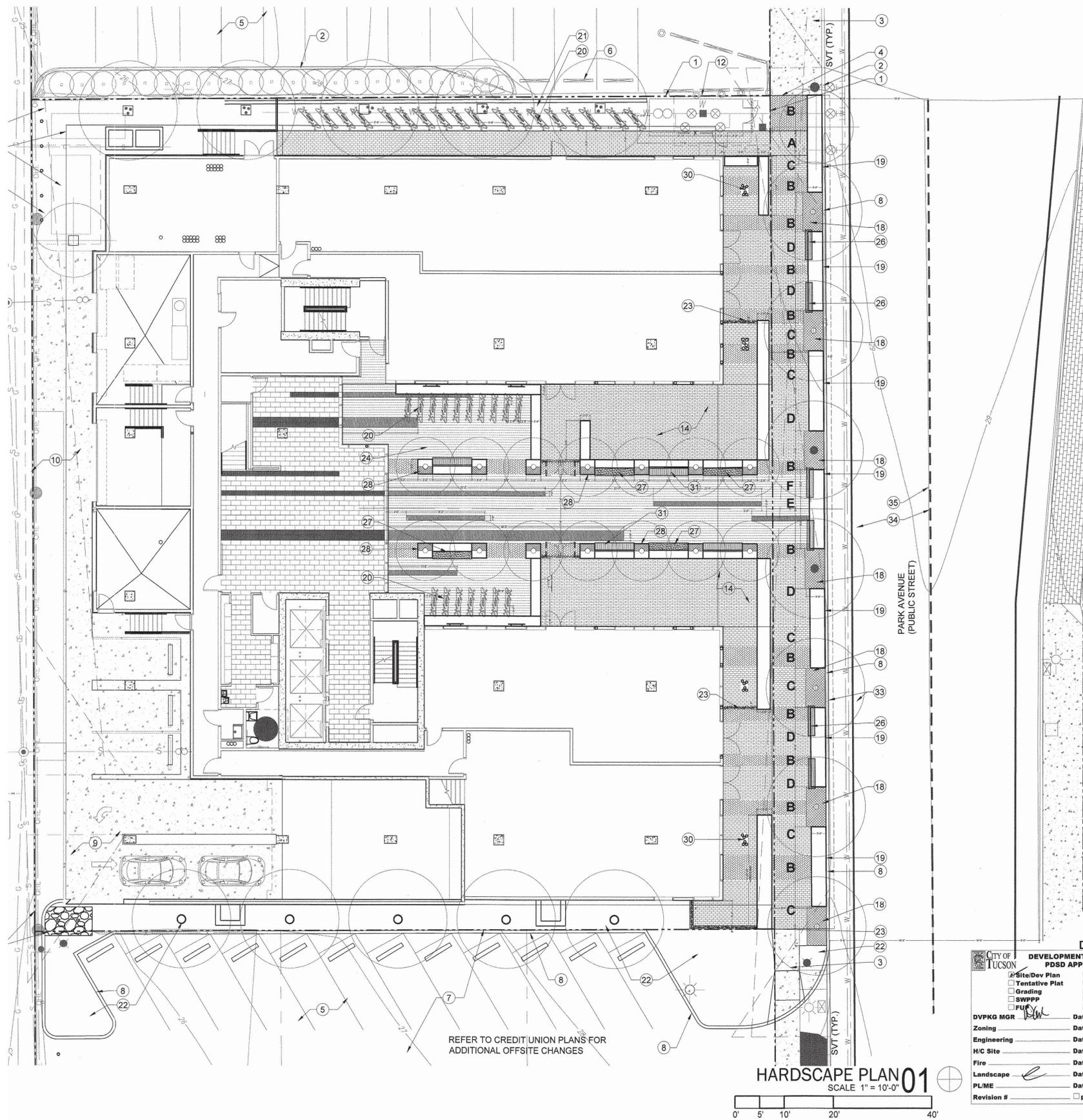
C.O.T. ADMINISTRATIVE ADDRESS: 1031 NORTH PARK AVE

<p>APPROVED PLANS MUST BE KEPT ON JOB AT ALL TIMES</p> <p>Planning & Development Services Dept.</p>	<p>Chris Winters Associates + ARC studios</p> <p>5781 n. placita amancor tucson arizona 85718 tel 520 882 9655 fax 520 229 4733 email cw@cwdesign.com erb@arcstudiosinc.com</p>	<p>Shepley Bulfinch</p> <p>Shepley Bulfinch Richardson & Abbott Architecture / Planning / Interiors / Est. 1874</p> <p>1437 North 1st Street Suite 201 Phoenix, AZ 85004 p 602 430 3223 f 602 254 1501 www.ShepleyBulfinch.com</p>
	<p>CIVIL ENGINEER</p>	<p>LANDSCAPE ARCHITECT</p>

<p>CITY OF TUCSON</p> <p>DEVELOPMENT PACKAGE PDS APPROVAL</p> <p>Site/Dev Plan <input type="checkbox"/> SCZ Tentative Plat <input type="checkbox"/> FRZ Grading <input type="checkbox"/> HDZ SWPPP <input type="checkbox"/> WASH IUP <input type="checkbox"/> Other</p> <p>DVPKG MGR _____ Date 1/28/13</p> <p>Zoning _____ Date _____</p> <p>Engineering _____ Date _____</p> <p>H/C Site _____ Date _____</p> <p>Fire _____ Date _____</p> <p>Landscape _____ Date _____</p> <p>PL/ME _____ Date _____</p> <p>Revision # _____ per letter in SIRE</p>	<p>STAMP</p> <p>REGISTERED LANDSCAPE ARCHITECT</p> <p>35541 CHRISTOPHER R. WINTERS</p> <p>11/12</p> <p>EXPIRES 12/31/2012</p>	<p>PARK AVE HOUSING Campus Acquisitions</p> <p>161 N CLARK STREET, SUITE 4900 CHICAGO, IL 60601</p> <p>DEVELOPMENT PACKAGE LANDSCAPE PLAN</p> <p>A PORTION OF LOT 8, LOTS 9, 12 AND 13 OF BLOCK 28 OF FELDMAN'S ADDITION BOOK 2, PAGE 30 OF MAPS AND PLATS, BEING A PORTION OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 14 EAST, GILA AND SALT RIVER MERIDIAN, PIMA COUNTY, ARIZONA</p> <table border="1"> <thead> <tr> <th>DESIGNED</th> <th>DRAWN</th> <th>CHECKED</th> <th>SHEET</th> </tr> </thead> <tbody> <tr> <td>CW</td> <td>CW/ERB</td> <td>ERB</td> <td>L002</td> </tr> </tbody> </table> <p>DATE 11/29/12 PROJECT NUMBER 01-12018 SCALE 1" = 10'-0" 17 OF 24</p>	DESIGNED	DRAWN	CHECKED	SHEET	CW	CW/ERB	ERB	L002
DESIGNED	DRAWN	CHECKED	SHEET							
CW	CW/ERB	ERB	L002							

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HARDSCAPE KEY NOTES

1. Property line
2. Existing curb
3. Existing sidewalk
4. Limit of existing sidewalk
5. Existing parking
6. Existing wheel stop
7. 25' Construction easement
8. New curb (refer to civil)
9. Ingress/ Egress concrete apron
10. Loading area
11. Concrete utility pad - refer to architectural site plan
12. Utility enclosure
13. Dumpster Enclosure - off site refer to civil plans
14. Precast pavers - refer to legend
15. Mechanical enclosure fence- refer to details
16. Paving accent to match interior- refer to legend
17. Mechanical enclosure gate- refer to details
18. Tree Grate - refer to legend and details
19. Steel Planter in ROW- refer to details
20. Bicycle Rack - refer to details
21. Stabilized decomposed granite- refer to landscape plans
22. Landscape planter at grade
23. Patio Railing- refer to details
24. Jakobs stainless steel trellis mounted to building facade
25. Screen Wall - off site refer to civil plans
26. Sculptural Mesquite Slab- refer to legend
27. Concrete bench at steel planter- refer to legend and details
28. Tree grate in raised planter- refer to legend and details
29. Steel Planter- refer to details
30. Building Column typ.
31. Composite bench at steel planter- refer to details
32. Concrete band at guard rail and gates- refer to details
33. 5' Bike Lane
34. Travel lane
35. Road Center Line

HARDSCAPE MATERIALS LEGEND

- Furnish and install all material per plans, details and specifications.
- A North Side utility area**
Ackerstone- Aquavia 8x4x10cm pavers- color Pewter- install running bond
 - B Sidewalk Pavers 1- bands at building panels**
Ackerstone- Aquavia 8x4x8cm pavers- color Charcoal- install Herringbone
 - C Sidewalk Pavers 2- bands at glazing**
Ackerstone- Aquavia 8x4x8cm pavers- color Pewter- install stacked bond
 - D Retail Patio Pavers**
Ackerstone linear Pavers- 4x24- color antique pewter- install running bond
 - E Pavers 01- Entry Court Accent Bands**
Stepstone Inc. 12x24x2.5 precast paver- French Grey- light sandblast finish
 - F Pavers 02 Entry Court Field Pavers**
Stepstone Inc. 12x24x2.5 precast paver- Granada White- light sandblast finish
 - Decorative Rock**
2" thickness crushed recycled clay pipe all landscape areas at grade
 - Artificial Turf**
Artificial Turf on Deck with Rubber infill - refer to specifications and details
 - Planter Decorative Rock**
Raised planters- 2" thickness 3/8" Cobalt Blue Fractured Rock- Acme Sand and Gravel
 - Tree Grate (7)**
4'x8' tree grate- Iron Age Designs- Interlaken Muerto with expansion grate
 - Planter with Tree Grate (14)**
3'x3'3" steel planter with 3' half tree grate- Iron Age Designs- Interlaken
 - Plaza Bench- concrete (4)**
Precast concrete bench seat- 8'Lx18"Wx2.5" Komegay Design Inc. (BID ALT- CDI- Tucson AZ)
 - Plaza Bench- composite bamboo (4)**
Bench on steel frame with Calibamboo Composite Decking (BID ALT- shadowline- jarra wood- wall mount- Landscape Forms)
 - Sculptural Mesquite Slab (6)**
Live Edge Mesquite Slab- 5'-6'Lx12"TO16"W w/ exterior finish- mount to steel plate planter- Tumacacori Mesquite Mill (BID ALT- shadowline- jarra wood- wall mount- Landscape Forms inc.)
 - Stainless steel trellis on wall in plaza (4)**
Jakobs stainless steel trellis system on wall with vines- conduit built in for overhead lighting

1 IRRIGATION VALVES

- PER UOD REQUEST EXTENDED IRRIGATION VALVE LATERAL LINES INTO THE RIGHT OF WAY TO MEET TDOT REQUIREMENTS

2 PLANT MATERIAL

- PER UOD REQUEST ADJUSTED PLANT MATERIAL TO DETER PEDESTRIAN J-WALKING
- PER UOD REQUEST REVISED PLANT SELECTIONS TO UTILIZE LOW WATER USE SUCCULENTS
- PER UOD REQUEST REVISED PLANT SELECTIONS TO USE SUCCULENTS THAT HAVE FEWER SHARP SPINES
- PER UOD REQUEST PLANT MATERIALS SHALL BE MAINTAINED AT 30" MAXIMUM HEIGHT

3 PLANTER PLACEMENT

- PER THE REQUEST OF THE UOD DESIGN COMMITTEE, MOVED PLANTERS ADJACENT TO VERTICAL CURB TO DISCOURAGE PEDESTRIAN TRAFFIC FROM CROSSING FROM THE DEVELOPMENT

4 PAVERS

- REVISED THE PAVER DETAILS TO UTILIZE STANDARD SPECIFICATION REQUIREMENT 932 WITH COMPACTED AGGREGATE BASE

CITY OF TUCSON SIGNED PLANS
MUST BE KEPT ON
JOB AT ALL TIMES
Planning & Development Services Dept.

DEVELOPMENT UNDER MAIN GATE ZONING DISTRICT OPTION
C.O.T. ADMINISTRATIVE ADDRESS: 1031 NORTH PARK AVE

Chris Winters Associates + ARC studios 5781 n. placita amanecer tucson arizona 85718 tel 520 882 9655 fax 520 229 4735 email cwa@cwadesign.com er@arcstudiosinc.com	Shepley Bulfinch Shepley Bulfinch Richardson & Abbott Architecture / Planning / Interiors / Est. 1874 1437 North 1st Street Suite 201 Phoenix, AZ 85004 p 602 430 3223 f 602 254 1501 www.ShepleyBulfinch.com
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DP12-0132
CITY OF TUCSON DEVELOPMENT PACKAGE PSD APPROVAL

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Zoning: _____ Date: _____
Engineering: _____ Date: _____
H/C Site: _____ Date: _____
Fire: _____ Date: _____
Landscape: *[Signature]* Date: 6-11-14
PL/ME: _____ Date: _____
Revision #: _____ per letter in SIRE

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**PARK AVE HOUSING
Campus Acquisitions**
161 N CLARK STREET, SUITE 4900
CHICAGO, IL 60601

**DEVELOPMENT PACKAGE
HARDSCAPE PLAN**

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DESIGNED	DRAWN	CHECKED	SHEET
CW	CWERB	ERB	L001

DATE: 06/10/14 PROJECT NUMBER: 01-12018 SCALE: 1" = 10'-0" 16 OF 24

EXPIRES 12/31/2015

C9-12-01

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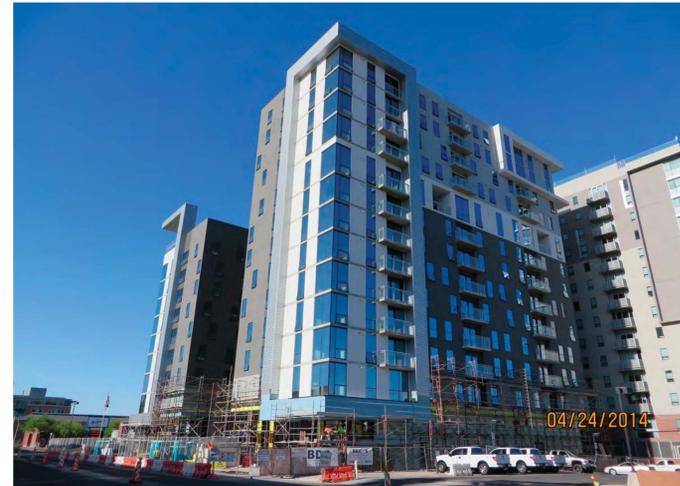
Revised Landscape Plans - Approved 6/12/14

Park Avenue Housing
Shepley Bulfinch

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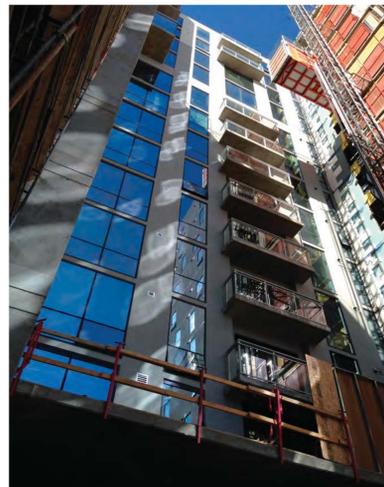
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PARK AVE VIEW NORTH TOWER 08



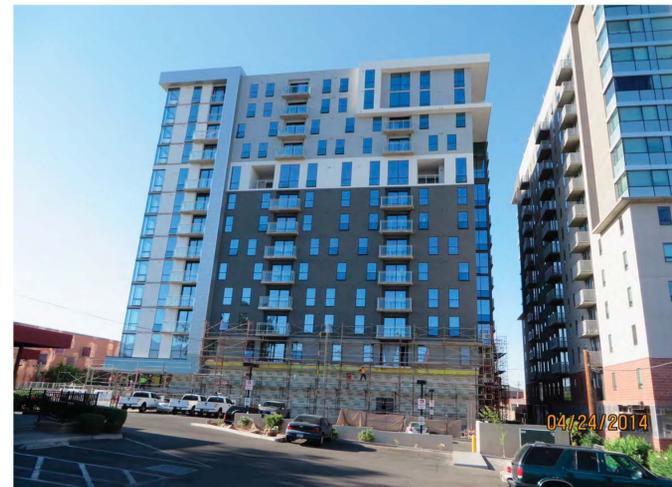
NORTH EAST VIEW 07



COURTYARD VIEW 06



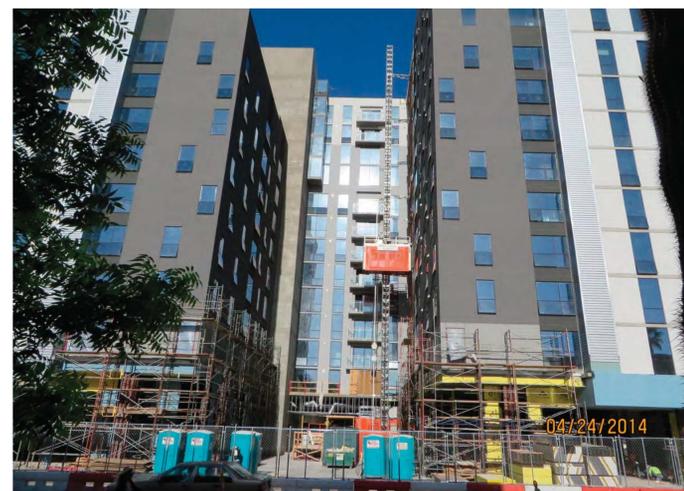
SOUTH ELEVATION 05



NORTH ELEVATION 04



NORTH WEST VIEW 03



EAST ELEVATION 02



PARK AVE RENDERING 01

DP12-0132

CITY OF TUCSON	DEVELOPMENT PACKAGE PSDS APPROVAL
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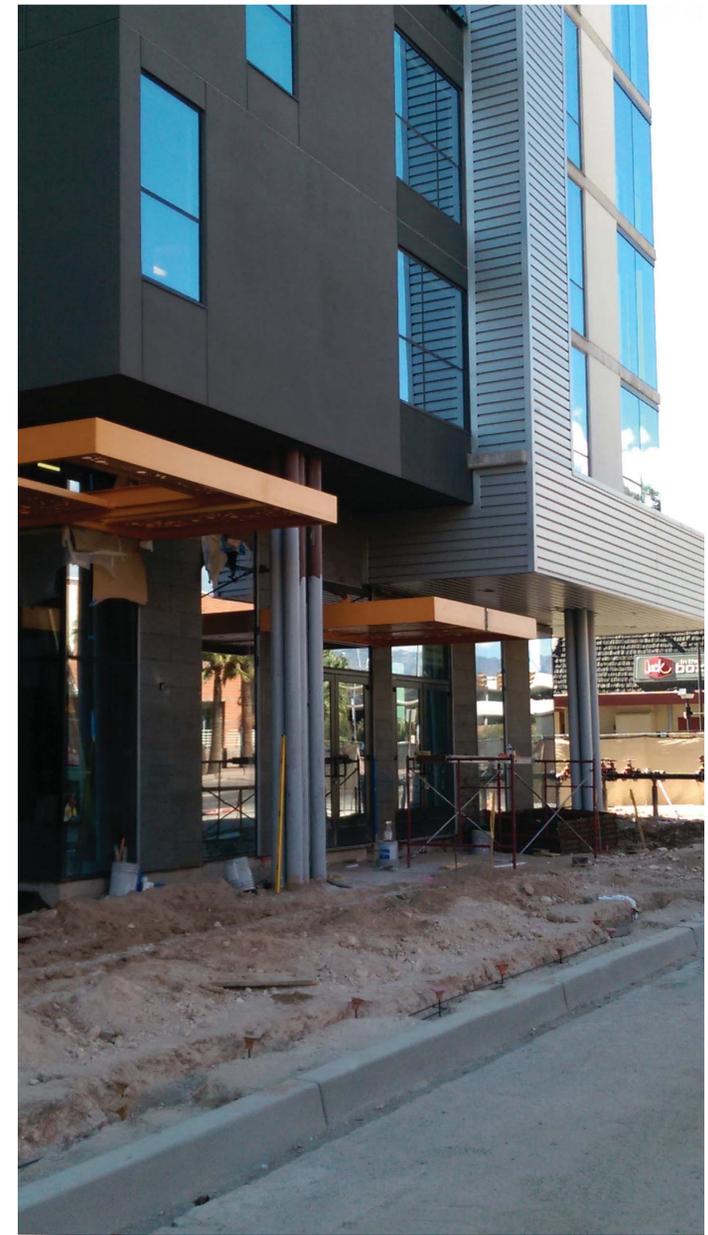
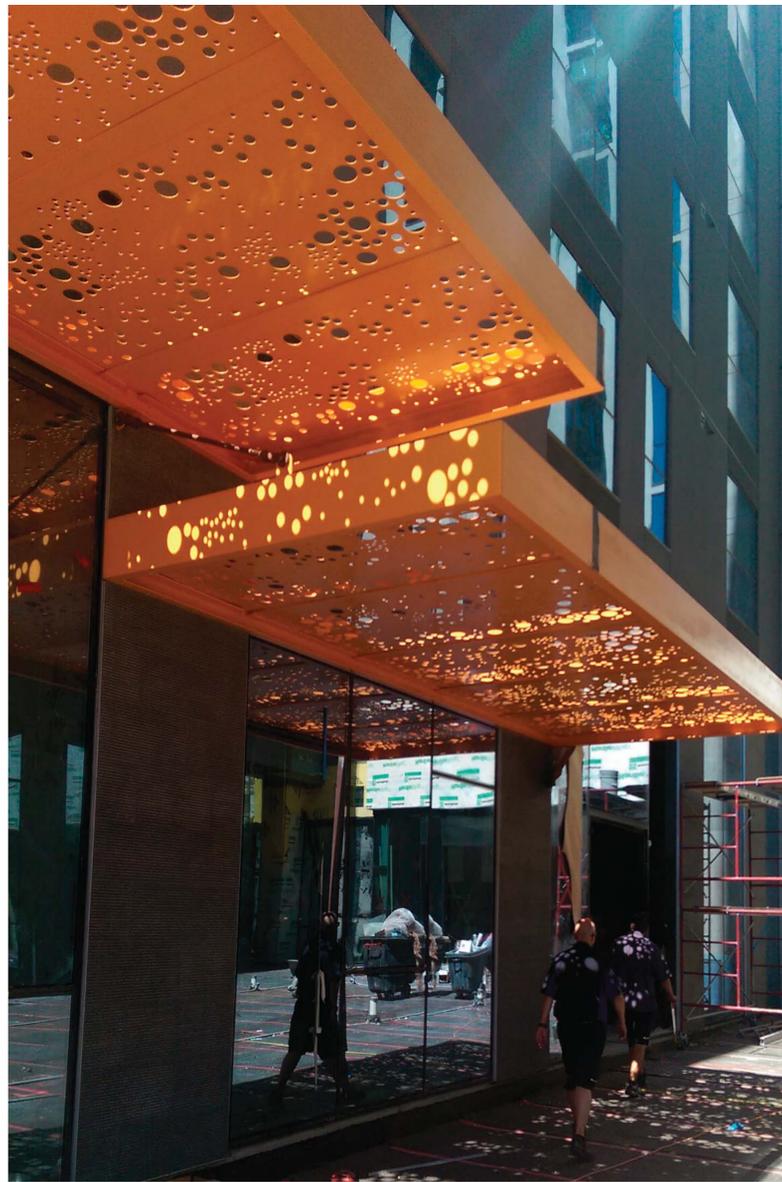
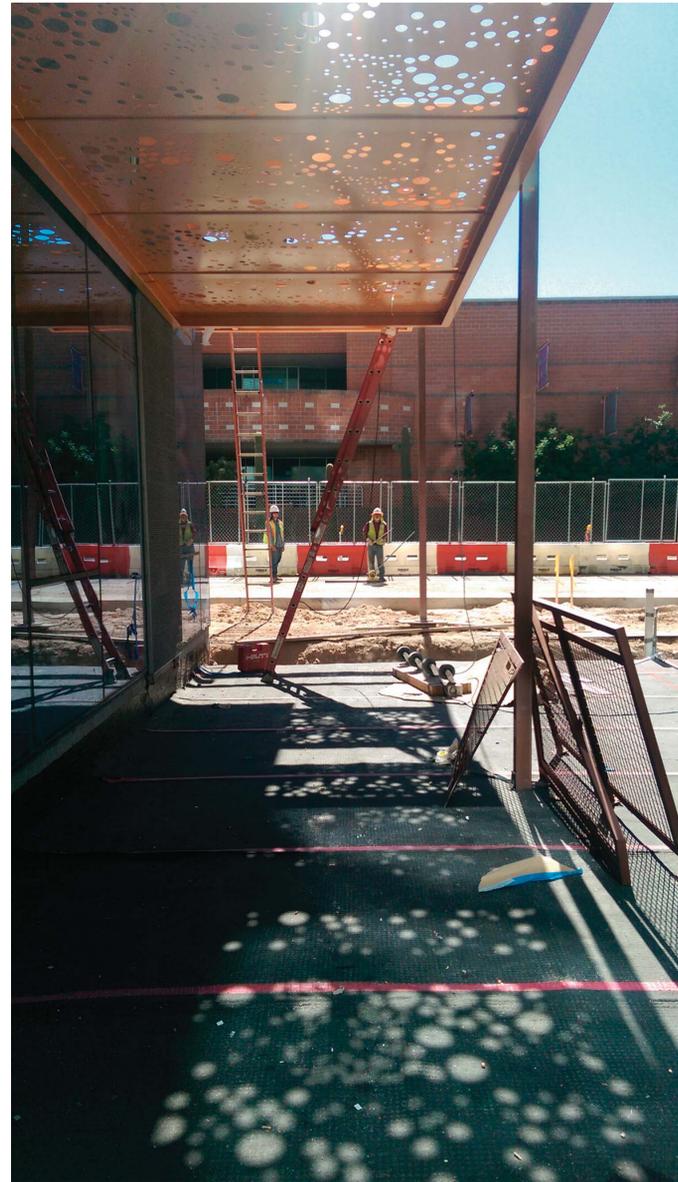
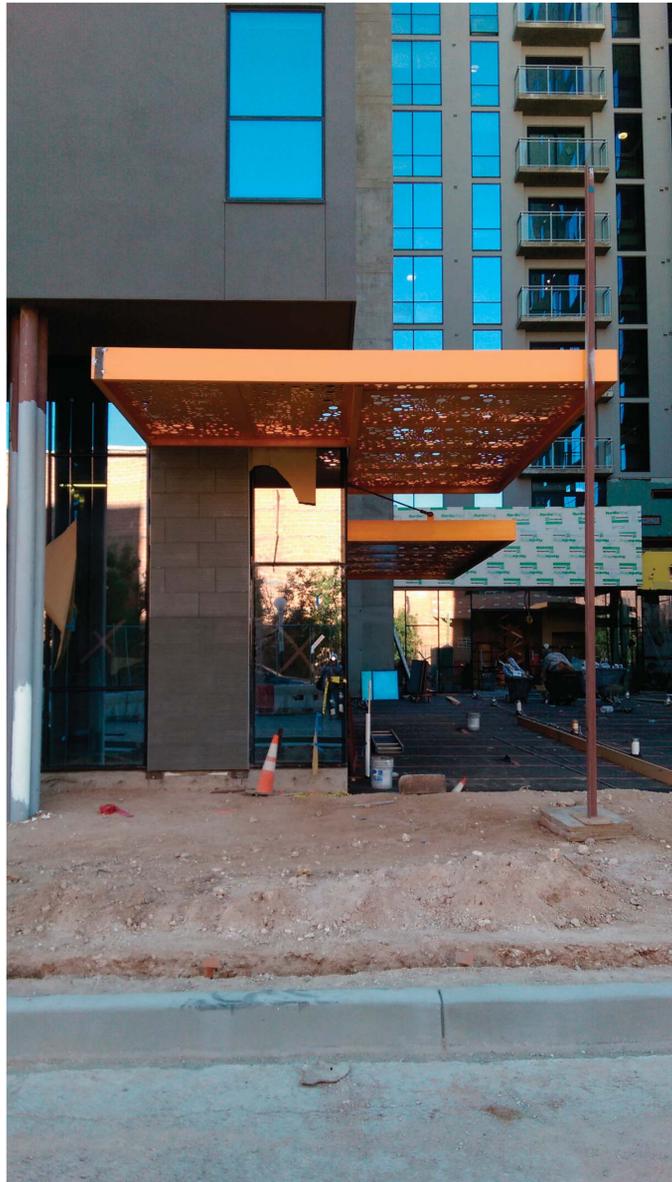
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Park Avenue Housing
Shepley Bulfinch



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25 JUNE 2014
 DRC: MTG



Pedestrian Scale

Park Avenue Housing
Shepley Bulfinch



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25 JUNE 2014
DRC:MTG



Patterned & Landscaped Pedestrian Areas, Metal Canopies & Roofs



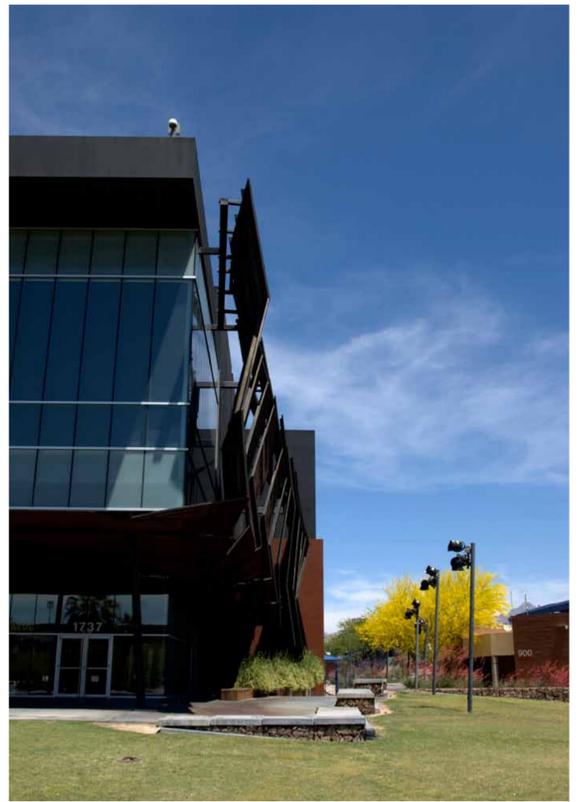
Covered and Varied Storefront Entries at Sidewalk



Semi-Public Open Space Adjacent to Public Sidewalk, Historic Character, Gathering Place, Natural Materials and Identity.



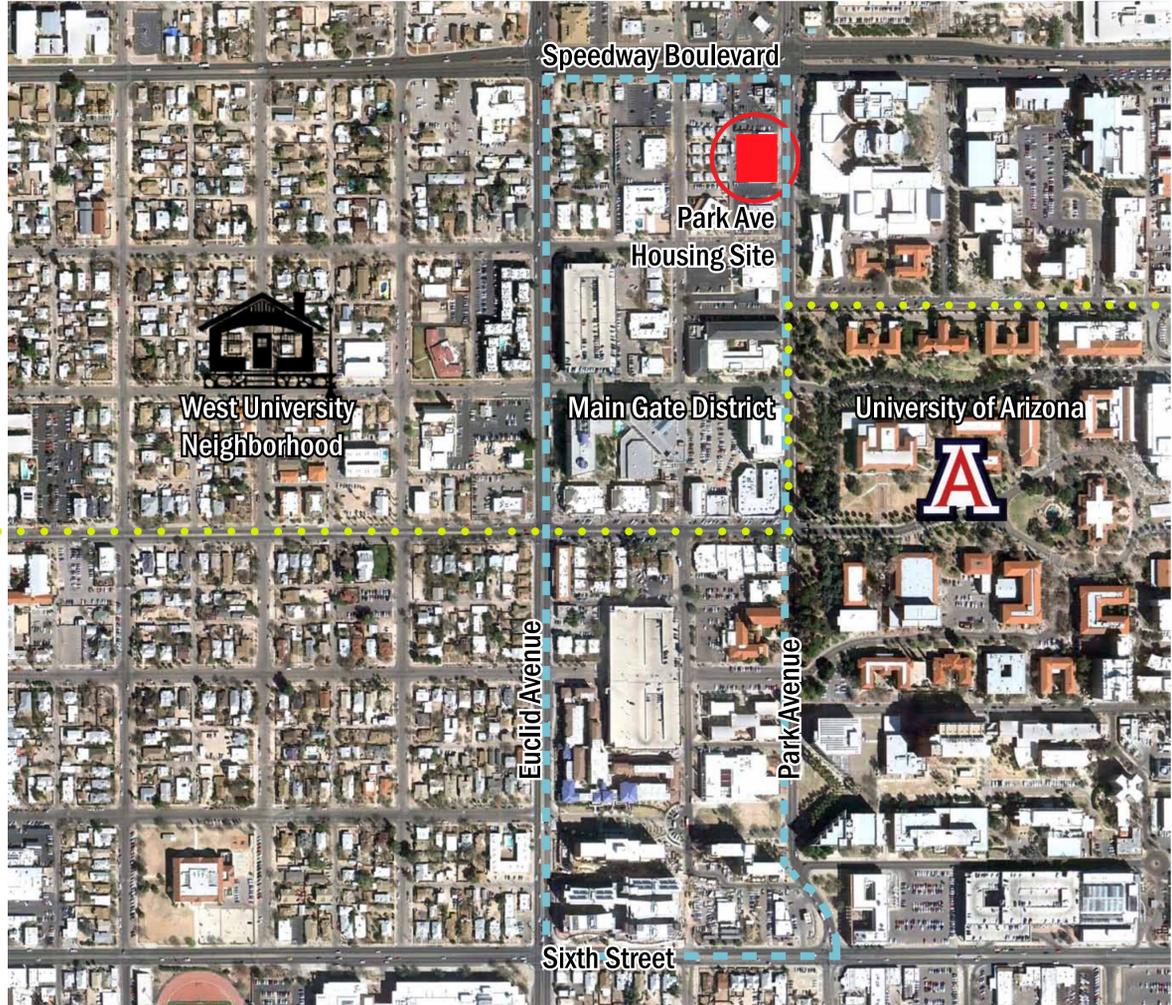
Repetitive Fenestration, Consistent Colors, Metal Panels, Synthetic Stucco, Masonry, Cast-in-Place concrete



Metal Panels, Varied levels of Opacity



Bright Colors and Individual Character



Context

Context Map



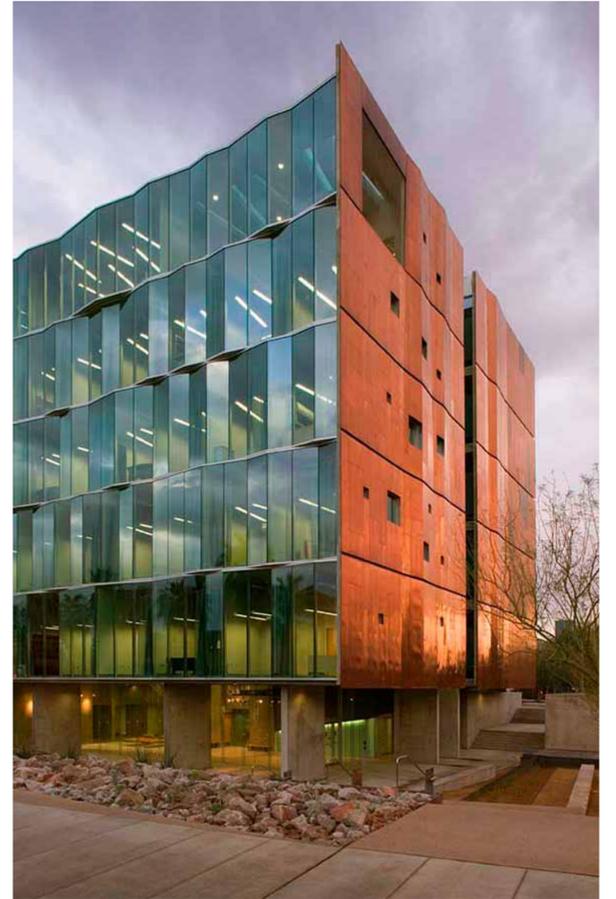
Traditional Brick, Wide Veranda, Highlighted Entrance & Historic Design



Shaded Sidewalk, Varied Window Sizes and Materials



Varied Shaded Pedestrian Experience, Roof Heights, Wide Sidewalk, Natural Materials and



Raw and Natural Materials, Contemporary Design, Full-height Glazing

Park Avenue Housing
Shepley Bulfinch



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Asclepias subulata
Desert Milkweed

Caesalpinia Mexicana
Mexican Bird of Paradise

Calliandra californica
Baja Fairy Duster

Penstemon sp.
Penstemon

Hesperaloe parviflora
Red Yucca

Lophocereus schottii
Totem Pole

Opuntia ficus indica
Thornless Prickly Pear

Pachycereus marginatus
Mexican Fence Post



Parthenocissus sp.
Hacienda Creeper

Acacia Willardiana
Palo Blanco

Pistache x Red Push
Red Push Pistache

Prosopis hybrid 'Phoenix'
Hybrid Phoenix Mesquite

Celtis reticulata
Canyon Hackberry

Viguiera deltoidea
Goldeneye

Portulacaria afra
Elephant Food

Yucca sp.
Yucca Rupicola



Pavers- brick and
concrete

Cast Iron Detectable Warning
Steel Planters and Panels

Weathered Wood Seating
New Wood Seating

Exposed Aggregate Concrete
Granite Rip Rap

Steel Grating
Decorative Stone

Concrete bench
Ipe/composite wood bench

Tree grate and raised planter

Stainless steel cable trellis

Landscape Materials

Chris Winters + ARC Studios
landscape architecture

Park Avenue Housing
Shepley Bulfinch



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PLANNING & DEVELOPMENT SERVICES
 DEPARTMENT
 201 N. STONE AVE
 P.O. BOX 27210
 TUCSON, AZ 85726-7210
 520-791-5550

CASE #
 13-11-01

 ACTIVITY #
 T13BU01192

**PETITION OF APPEAL
 TO THE BUILDING OFFICIAL**
 (Decision of Building Official)

PROJECT ADDRESS: 1031 N Park Ave

<input checked="" type="checkbox"/> APPROVED	<input type="checkbox"/> APPROVED W/STIPULATIONS	<input type="checkbox"/> DENIED
<input checked="" type="checkbox"/> MODIFICATION (IBC Sec. 104.10)	<input type="checkbox"/> ALT. MAT'LS, DESIGN OR METHOD OF CONSTRUCTION (IBC Sec. 104.11)	<input type="checkbox"/> INTERPRETATION (IBC Sec. 104.1)

Applicant is requesting a modification of the lumen cap in the 2012 Outdoor Lighting Code (OLC). The project is a 13 story predominately residential building with a rooftop pool. The initial outdoor lighting lumen calculations used the option of 100% full cutoff fixtures and did not include lighting for the swimming pool. Since underwater pool lighting is not full cutoff the project must now show compliance with the OLC using the option of mixed (full cut off and non-shielded) light sources. That option reduces the total amount of lumens allowed for the project to 101,500. The proposed total is 122,400 full cut off and 2,240 unshielded (with allowed reduction for underwater lights) for a total of 124,640 lumens. The total allowed if 100% full cut off fixtures are used is 145,000.

The project is well under way with a completion deadline of July 2014. Redesign of the outdoor lighting and reordering of fixtures would put the project completion date in jeopardy. The unshielded lighting comprises only 1.8% of the total lumens for the project and is necessary for safety of the pool occupants. This modification to the OLC limits will not lessen or safety and have a very minor, if detectable, effect on illumination of the night skies.

 11/12/13

 Ron Boose, Building Official

RECEIVED

OCT 31 2013



PLANNING & DEVELOPMENT SERVICES DEPARTMENT

201 N STONE AV

PO BOX 27210, TUCSON AZ 85726-7210

(520) 791-5550

www.tucsonaz.gov

CASE # 13-11-01
ACTIVITY # T13BU01192

PETITION OF APPEAL TO THE BUILDING OFFICIAL

** This is a legal document that MUST be detailed, accurate and complete. Supporting data may be attached if needed. **

PROJECT NAME Park Avenue Student Housing	PROJECT ADDRESS 1031 N. Park Ave., Tucson, AZ 85719	DATE 10/29/2013
OWNER/TENANT NAME DRI/CA Park, LLC	OWNER/TENANT ADDRESS 161 N. Clark St., Suite 4900, Chicago, Il 60601	PHONE 515-288-0345
APPELLANT'S NAME & RELATIONSHIP: Hyman Kaplan, Electrical Engineer	APPELLANT'S ADDRESS 3109 N. Madera Mesa Pl., Tucson, AZ 85749	PHONE 520-760-9301 EMAIL hylite@earthlink.net

Appeal is hereby made to the Building Official for an alternate method/material, modification, or interpretation of, Section: 401.2 of the 2012 Outdoor Lighting Code As adopted by the City of Tucson.

DESC:

Allow the Unshielded Lighting underwater lighting for the pool and spa to be added to the total of the exterior full cut-off lighting for compliance.

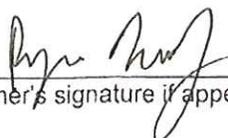
Explanation of why conformance with the above requirement on the project presents an unusual problem. (Use attachment if necessary)

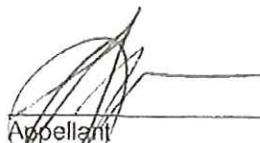
The plans for the building were approved using Option 2 of Table 401.1 for all full cut-off lighting, 145,000 lumens Allowed and 122,400 lumens Used. Recalculating using Option 3 of Table 401.1 the Allowed is 101,500 lumens including 6,380 lumens of unshielded lighting. The pool and spa underwater lighting designed is 22,400 lumens @ 10% = 2,240 lumens. The building is nearing completion of construction and changes to the designed and installed exterior lighting will be a major hardship and time delay. Swimming pool and spa underwater lighting is necessary for safety of the public in and around them.

State specifically what is proposed in lieu of literal compliance:

Allow the Unshielded Lighting underwater lighting for the pool and spa to be added to the total of the exterior full cut-off lighting for compliance. It is only 2,240 lumens (1.8%) of a total of 124,640 lumens of non-exempt exterior lighting.

Time is essential for the Appeal as there is contract requirements for the pool to start in 3 weeks.

 OWNER REP.
Owner's signature if appellant is other than owner

 EE8693
Appellant Title
HYMAN KAPLAN



PLANNING & DEVELOPMENT SERVICES
 201 N. Stone Avenue, 1st Floor Tucson, AZ
 Phone: 791-5550 Fax: 791-4340

CITY OF TUCSON DEV SVC
 201 N. STONE AVE
 TUCSON, AZ 85701

10/31/2013 11:07:51
 MID: 000000009126855 TID: 04915181
 226028401991

RECEIPT

ACTIVITY #: T13BU01192

FEES RECEIPT

Title:
 Date: 10/31/2013

Online Tran
 T

Address:
 1031 N PARK AV TUC

Legal:
 FELDMANS AMENDED S25' LOT 8 LOTS 9 12 & 13 BLK 28 - 0

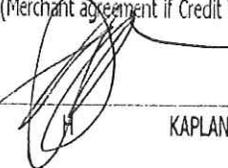
Square Footage: 0
 Composition Type: POOL/SPA
 Activity Description:

Value
 Construction T

Applicant: CIMARRON CIRCLE CONSTRUCTION COM
 4325 E GRANT RD
 TUCSON AZ 85712-2606
 520-881-2777

CREDIT CARD
 MC SALE
 CARD # XXXXXXXXXXXXX2757
 INVOICE 0009
 Batch #: 000108
 Approval Code: 82218G
 Entry Method: Swiped
 Mode: Online
 Tax Amount: \$0.00
 SALE AMOUNT \$132.00

I agree to pay above total amount
 according to card issuer agreement.
 (Merchant agreement if Credit Voucher)

X  KAPLAN

MERCHANT COPY

PAID BY:

Type	Method	Description	
Payment	Credit C	2757	132.00

Notation:

FEES PAID:

ACCOUNT CODE	DESCRIPTION	CURRENT PMTS
001-174-8630-03	BOARD OF APPEALS	132.00

Issued by: CPIERCE1 TOTAL: 132.00

APA BALANCE:



PROJECT DATA

(final figures subject to change)

ZONING MGD MAIN GATE DISTRICT

SITE

area 25,232 sf; .58 acres

PARKING

REQUIRED

residential (.5/unit) 82.5 spaces
retail (1/1000 gsf) 16.3 spaces

TOTAL REQ'D 99 spaces

TOTAL PROVIDED 108 spaces

EFFECTIVE PARKING CALCULATION

regular residential 85 spaces
car share 52 effective spaces (3 spaces x 14 effective per car share)

SUBTOTAL 137 effective residential spaces
137 space / 386 beds = .355 space per bed

retail 20 spaces

TOTAL 157 effective spaces

GROUND LEVEL

lobby 1,753 sf
service 3,470 sf

retail 1 3,612 sf
retail 1 outdoor 1,200 sf
retail 2 3,372 sf + 1,170 sf mezz tbd
retail 2 outdoor 1,200 sf

RETAIL TOTAL +/- 10,554 sf (final sf tbd)

RESIDENTIAL UNITS

TYPE	TOTAL UNITS	TOTAL BEDS
studio	28	28
1 bed	30	30
2 bed	52	104
4 bed	53	212
6 bed	2	12

TOTAL 165 UNITS 386 BEDS

Ground Floor

Park Avenue Housing
Shepley Bulfinch

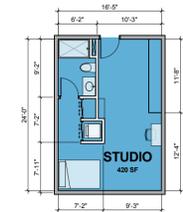


Plans and all specifications are subject to revision as deemed necessary or advisable by Contractor, Architect, Owner or as required by law. Material images are provided as reference. Due to individual monitor/printer settings, color, texture and pattern size may vary from the actual material.

13SEPT2012
DRC:MTG



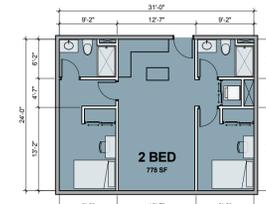
Typical Unit Layouts



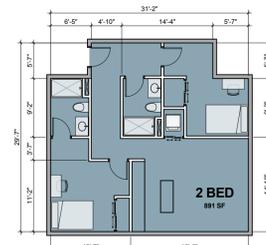
STUDIO
 1 bed
 1 bath
 420 sf



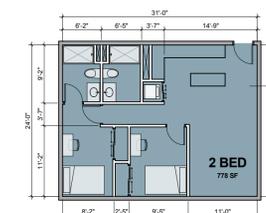
1x1 UNIT
 1 bed
 1 bath
 541 sf



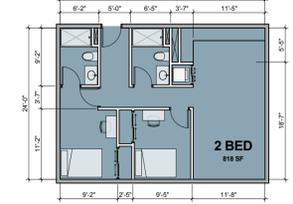
2x2 UNIT
 2 bed
 2 bath
 778 sf



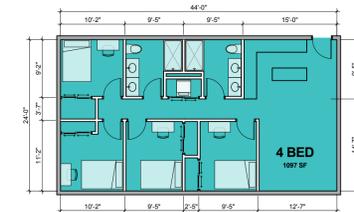
2x2 CORNER UNIT INSIDE
 2 bed
 2 bath
 891 sf



2x2 CORNER UNIT ALLEY
 2 bed
 2 bath
 778 sf



2x2 CORNER UNIT OUTSIDE
 2 bed
 2 bath
 818 sf



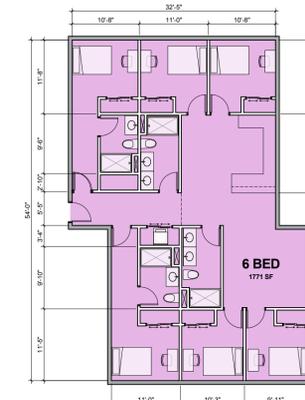
4x2 UNIT
 4 bed
 2 bath
 1097 sf



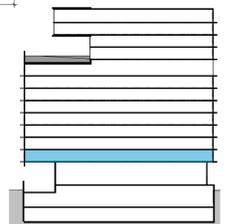
4x4 UNIT
 4 bed
 4 bath
 1294 sf

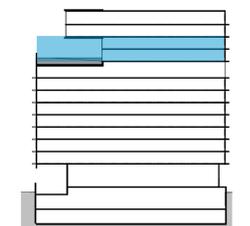


4x4 UNIT
 4 bed
 4 bath
 1267 sf

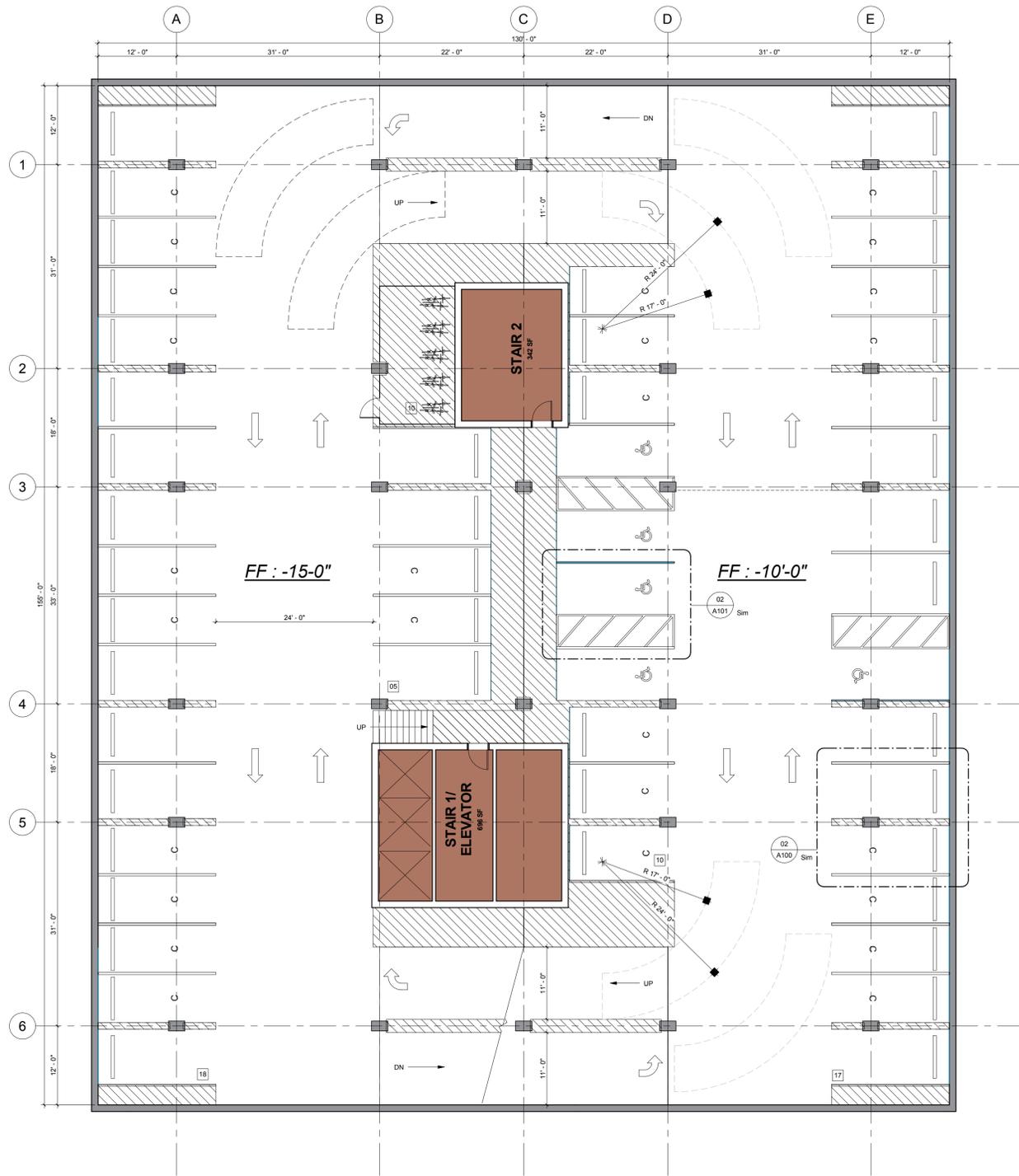


6x4 UNIT
 6 bed
 4 bath
 1771 sf



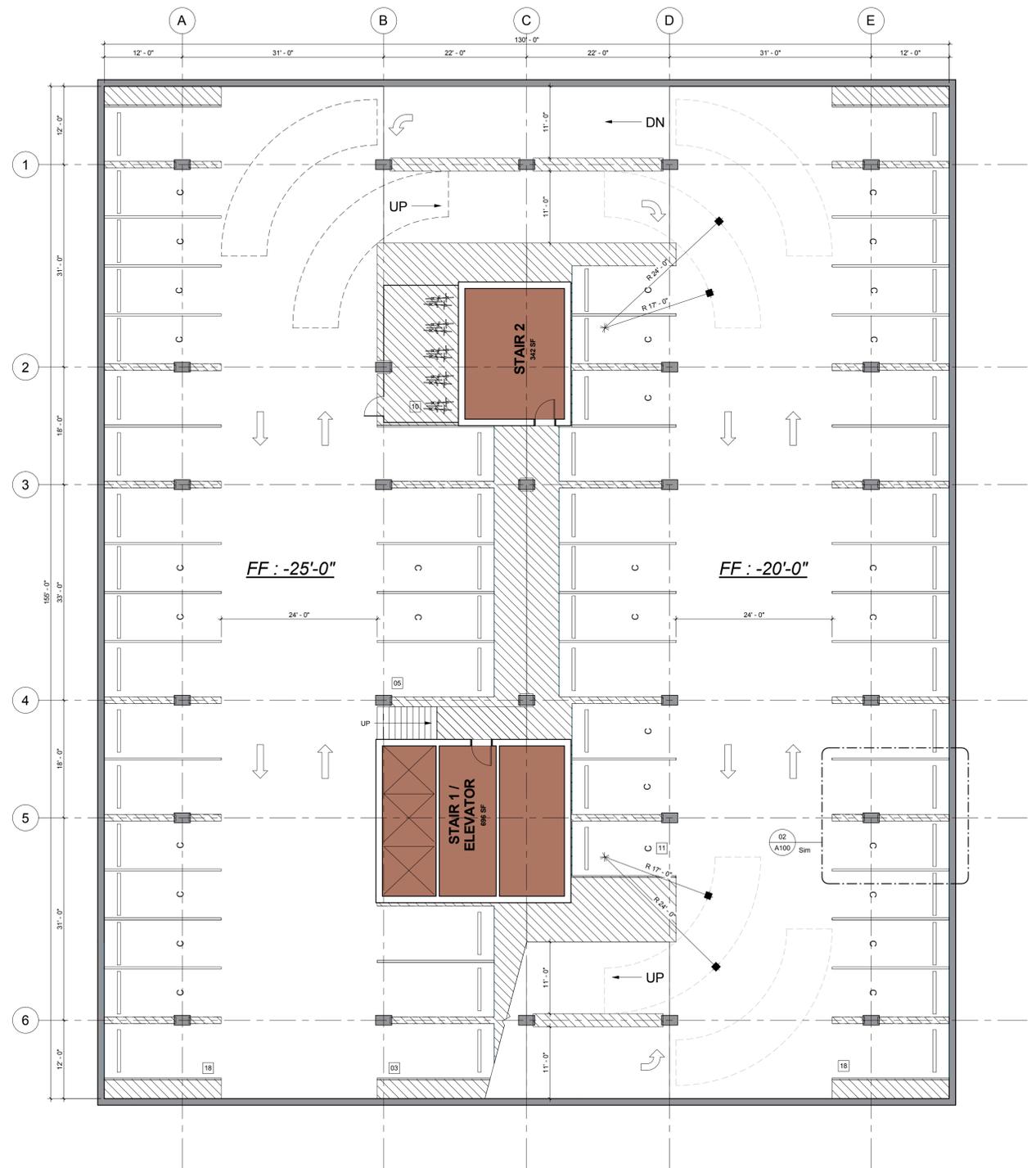


Amenity Deck

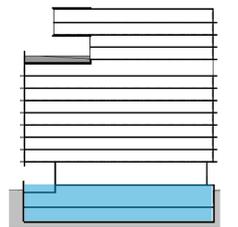


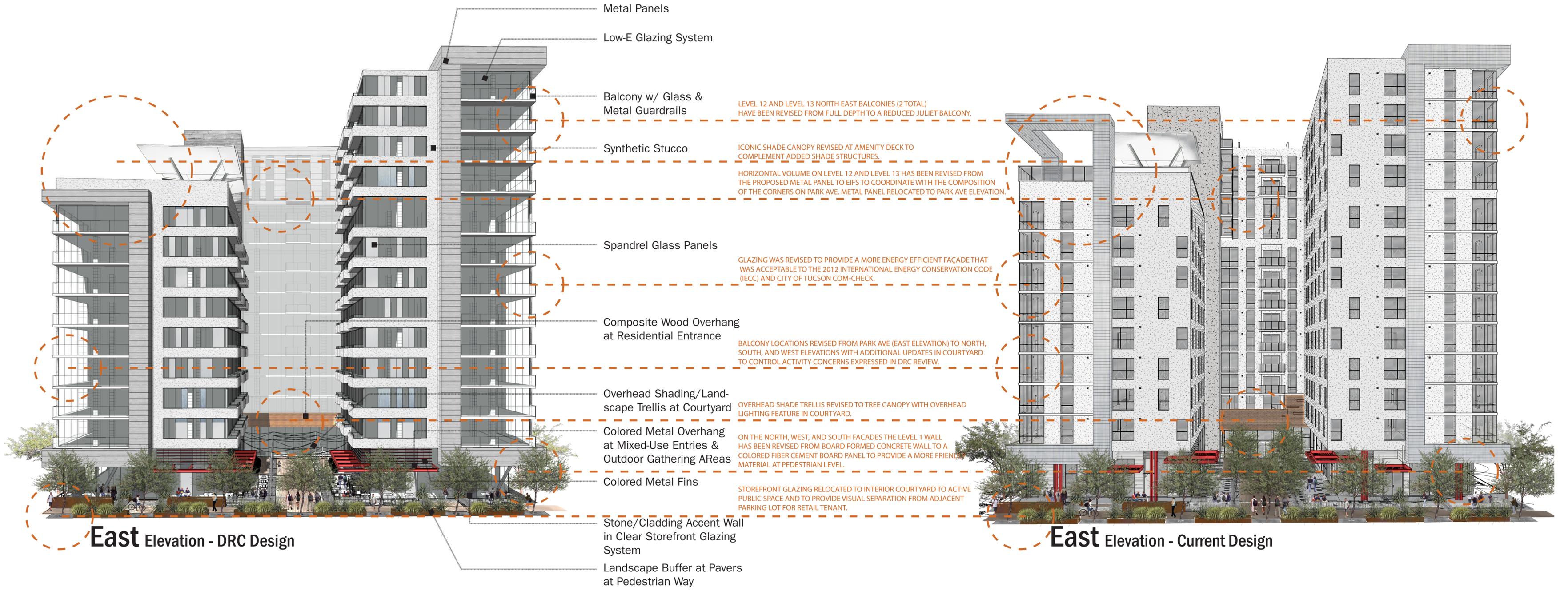
P1

Parking



P2





East Elevation - DRC Design

East Elevation - Current Design

Park Avenue Housing
Shepley Bulfinch



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