

92 W. Simpson Street

Barrio Historico

Historic Preservation Zone Design Package

Property Owner:

Treadway-White Revocable Trust

Prepared by:

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August 2025

Table of Contents

A. Project Summary.....	1
1. Background.....	1
2. Project Description	7
B. Compliance with Applicable HPZ Design Standards.....	17
1. General	17
2. Height	17
3. Setbacks.....	17
4. Proportion.....	17
5. Roof Types	17
6. Surface Texture.....	18
7. Site Utilization.....	18
8. Projections & Recessions	18
9. Details	18
10. Building Form.....	19
11. Rhythm	19
12. Accessibility Features (UDC only).....	19
13. Additional Review Standards (UDC) and Supplemental Review Criteria (TSM).....	19
14. Specific HPZ Guidelines for Barrio Historico (TSM only)	20
15. Maintenance (UDC only).....	20

List of Exhibits

Exhibit A.1.a: Location & Context Map 2

Exhibit A.1.b: Site Aerial 3

Exhibit A.1.c: Property Development Zone 4

Exhibit A.2.a: Replacement Roof 9

Exhibit A.2.b.1: Replacement Gate..... 11

Exhibit A.2.b.2: Proposed Modified Gate Design 12

Exhibit A.2.c.1: Door & Window Damage..... 14

Exhibit A.2.c.2: Proposed Replacement Doors 15

Appendix

Appendix A: Photos of Existing Property

Appendix B: Photos of Surrounding Area

Appendix C: Metal Roof System Plans

Appendix D: Approved Carport Site Plan

Appendix E: HPZ Approval Letter for Gate Across Street

Appendix F: Arizona Historic Property Inventory Form

Appendix G: Project Site Plan

A. Project Summary

1. Background

Mona Treadway and Glenn White, through the Treadway-White Revocable Trust (“Owners” or “Applicants”), own Pima County Assessor Parcel Number (“APN”) 117-14-184A (the “Property”), located at the southeast corner of S. Convent Ave. and W. Simpson St. in the City of Tucson (“City”). The Property includes the Applicants’ primary residence at 92 W. Simpson St. (the “Main House” or “House”), a recently improved carport area (the “Carport”), and a separate residential duplex at 84 and 86 W. Simpson St. (the “Duplex”). (See *Exhibit A.1.a: Location & Context Map*, *Exhibit A.1.b: Site Aerial*, and *Exhibit A.1.c: Property Development Zone*.) The Property is located in the Barrio Historico Historic Preservation Zone (“HPZ”) and zoned Historic Office “HO-3”. The Property is also located in the City’s Barrio Libre National Register Historic District (“NRHD”) and Barrio Viejo Neighborhood Association (“BVNA”). Both the Main House and Duplex are designated contributing properties to the Barrio Libre NRHD.

The original portion of the Main House was constructed in the 1880s on the southeast corner of Convent and Simpson. By 1896, two additional dwelling areas were added onto the south and east sides of the original building, creating the House’s “L”-shaped layout. The House was originally constructed with a flat roof in keeping with the traditional Sonoran Row House style. By 1924, the House’s current hipped roof and dormer vents were added over its original flat roof and parapet walls. The House has been used for residential, commercial, and office purposes throughout the years and is considered to be a good example of a Transformed Sonoran Row House. The Owners purchased the Property in February 2020 to use as their primary residence. In June 2023, the Owners’ received permission through the City’s HPZ Major Review process to improve certain portions of their driveway and construct the 532-square-foot Carport, including an enclosed storage space to store their motorcycles. During that process, the Barrio Historico Historic Zone Advisory Board (“HZAB” or “Advisory Board”) and Tucson-Pima County Historical Commission Plans Review Subcommittee (“TPCHC PRS”) approved the Carport’s rusted patina corrugated metal roof, determining the form and materials were compatible with the area (City Case HPZ-22-075).

In summer 2024, heavy rain and hail significantly damaged the Main House’s roof and western-facing doors and windows, including tears to the roof’s existing asphalt shingles, multiple broken glass windowpanes, and warping to wooden door panels and rails. To avoid further damage to the House, the Owners secured the broken windowpanes and immediately installed a more durable standing seam metal panel roof system, opting for a rusted patina style to match the color of their previous roof and that of their HPZ-approved Carport. The Applicants did not seek City HPZ approval for the roof work, and in January 2025, the Applicants received a City citation for unpermitted alterations to their roof.

Exhibit A.1.a: Location & Context Map

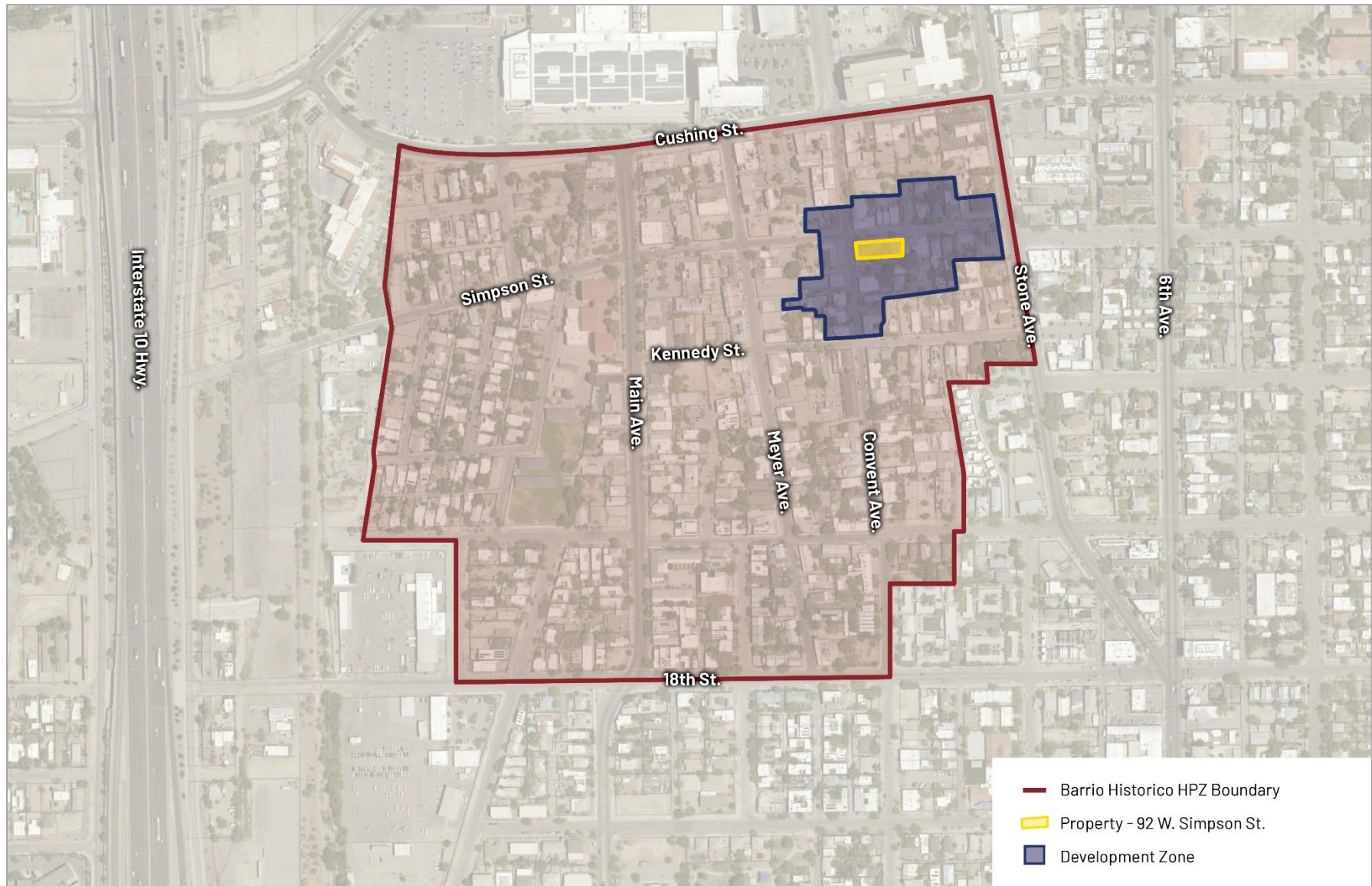


Exhibit A.1.b: Site Aerial



Exhibit A.1.c: Property Development Zone



During construction of the Carport, the Owners also installed an automatic security gate (“Gate”) along Simpson St. to replace an older, inoperable automatic gate system with missing components. The Gate was built alongside other improvements made to the interior perimeter of the Carport; however, the Gate itself was not included in the 2023 HPZ-approved plans and therefore does not have HPZ approval. On May 21, 2025, the Applicants received another City citation regarding unpermitted installation of the new Gate. While the Gate was custom made to match another HPZ-approved gate on a different property across the street, the new Gate will require retroactive historic review and approval through the City’s HPZ Review process.

Based on feedback received from a Barrio Historico HZAB courtesy review on June 9, 2025, the Applicants have researched the Board’s recommendation to treat the roof with certain materials to create a more uniform exterior appearance that would soften the roof’s slight “pixelated” appearance. Applicants contacted their roof installer, Del Oro Roofing, who recommended to not paint the roof because they believe doing so will “cause premature failure to the roofing system.” Applicants then reached out to the roof system manufacturer, ASC Building Products, who provided the following:

“[O]ur paint system is proprietary. It is applied in multiple steps at our coating facility. This process is not something that can be duplicated in the field after installation. Any altering to the paint coating will void the warranty.”

While the Applicants desire to address the Board’s concern about the roof color, they are more concerned that roof treatments (i.e. coatings or paints) would fail to properly adhere to the current factory finish and deteriorate over time, potentially risking damage to the House’s exterior and/or creating an unsightly appearance as a result. They also cannot make a change that voids their warranty.

Regarding doors, Applicants originally proposed to order new factory doors and windows to replace the existing. Instead, Applicants will now order three custom wooden replacement doors to match the Main House’s existing historic front door (which will remain) and restore existing damaged plate glass windowpanes. The Applicants also propose to modify exterior Gate designs to include more verticality as requested by the Advisory Board in an attempt to reduce the horizontal appearance of its current design, in better keeping with the historic character of the area.

The Applicants are proactively working with their consultants, City Planning and Development Services staff (“Staff”), and the HZAB towards solutions to both rectify prior unpermitted work and permit the proposed exterior modifications requested herein. The Applicants wish to process a combined HPZ application for all of these improvements and are respectfully requesting the following:

- HPZ Major Review and retroactive approval of the standing seam metal roof in its current condition installed on the Main House without the proper permit;
- HPZ Major Review and retroactive approval of the Gate installed along Simpson St. without the proper permit, and approval of proposed exterior modifications intended to limit its current horizontal appearance; and,
- HPZ Major Review and approval of proposed custom-made replacement doors and restoration of existing windowpanes of the Main House.

The Applicants have made a good faith effort to accommodate certain recommendations of the Advisory Board in this revised proposal. The Applicants also believe these investments respect the unique character of Barrio Viejo and are critical for the maintenance and long-term preservation of this historic Property.

(See Appendix A: Photos of Existing Property and Appendix B: Photos of Surrounding Area.)

2. Project Description

As described in the Background section above, the Applicants are submitting this application to reconcile work recently performed on the roof and Gate of the Main House without proper historic review and permitting. Separately, the Applicants are proposing replacement of three deteriorating doors along the Main House's west and north sides to match the House's current front door, to be installed only upon approval of this application. Details regarding prior improvements to both the roof and Gate, as well as proposed improvements to the doors and windows (the "Project") are provided below.

A. Roof Improvements

As seen in *Exhibit A.2.a: Replacement Roof*, the Main House's prior roof consisted entirely of dark brown sand-textured asphalt shingles which contrasted nicely with the House's cream-colored stucco façade. The style and color of these shingles were similar to those of properties across the street at 101 W. Simpson St. and 360 S. Convent Ave. Unlike some roofing material from the historic period (e.g., wood or slate shingles, clay or painted tiles, etc.), the asphalt shingles removed from the House likely were at most a few decades old and were not historically significant in their own right.

The recently installed roof is made of standing seam metal panels commonly found on Transformed Sonoran Row Houses throughout Barrio Viejo and more importantly in the Property's Development Zone. The Applicants purposefully chose metal panels instead of new asphalt shingles for their increased durability during extreme weather events like hailstorms. Along Simpson St. within the Property's Development Zone, there are eight historic contributing properties with metal roofs, five of which have standing seam metal panel systems identical to the House's new roof. No changes to the roof's overall form were made; all existing chimneys, dormer vents, ridgelines, and eaves remained intact. The Applicants selected dark brown rusted patina paneling to maintain the continuity of their House's prior roof color and contrasting color scheme. This style of paneling also maintains continuity with the recently approved Carport roof and those of other homes within the Property's Development Zone.

As stated above, the Applicants acknowledge the Advisory Board's concern about the roof's appearance. The Applicants have researched the Board's recommendation to treat the roof with certain materials to create a more uniform exterior appearance that would soften the roof's slight "pixelated" appearance. Applicants contacted their roof installer, Del Oro Roofing, who recommended to not paint the roof because they believe doing so will "cause premature failure to the roofing system." Applicants then reached out to the roof system manufacturer, ASC Building Products, who provided the following:

"[O]ur paint system is proprietary. It is applied in multiple steps at our coating facility. This process is not something that can be duplicated in the field after installation. Any altering to the paint coating will void the warranty."

While the Applicants desire to address the Board's concern about the roof, they are more concerned that roof treatments (i.e. coatings or paints) would fail to properly adhere to the current factory finish and deteriorate over time, potentially risking damage to the House's exterior and/or creating an unsightly appearance as a result. They also cannot make a change that voids their warranty. (See *Appendix C: Metal Roof System Plans*.)

Exhibit A.2.a: Replacement Roof



Prior Asphalt Shingle Roof, April 2022



Current Metal Panel Roof, March 2025



Close-up of standing seam metal roof system, March 2025

B. Carport Gate

The new Carport Gate was installed to enclose the driveway and improve security and privacy for the Owners. As seen in *Exhibit A.2.b.1: Replacement Gate*, the new Gate is mounted on existing posts set between an existing masonry pillar and pony wall. The Gate opens inward towards the Carport and operates via remote control using solar-powered dual swing LiftMaster-brand gate openers. From street level, the Gate is raised approximately one foot off the ground to accommodate the slight incline of the driveway.

The new Gate is made of rusted metal panels designed to match an existing rusted metal gate directly across the street between 75 and 85 W. Simpson St. that received HPZ approval in September 2020 (City Case HPZ-20-034). The new Gate also intentionally matches the rust-colored roofs of both the Main House and the Carport, as well as two other gates installed as part of the Carport project. It replaced an older automated gate system that was inoperable when the Owners purchased the Property. The old decorative wrought iron gate, which resembled those of the adjacent Duplex, were removed at some point by a prior owner and could not be salvaged for this Project.

Based on specific feedback from the Barrio Historico HZAB meeting on June 9, 2025, the Owners propose to modify the Gate's current designs as requested by several Advisory Board members to emphasize verticality and lessen its horizontal appearance. As shown in *Exhibit A.2.b.2: Proposed Modified Gate Design*, the Gate would maintain its current mechanical elements, mounted position, and rusted patina color to match the HPZ-approved example across the street, but include new vertical elements welded onto the exterior of the street-facing side only which bisect and break up the large horizontal spaces created by the existing rectangular design.

(See *Appendix D: Approved Carport Site Plan* and *Appendix E: HPZ Approval Letter for Gate Across Street*.)

Exhibit A.2.b.1: Replacement Gate



New Carport Gate viewed from Simpson St. (left) and within the driveway (right), May 2025



Prior gate, March 2011 (source: Google Street View)

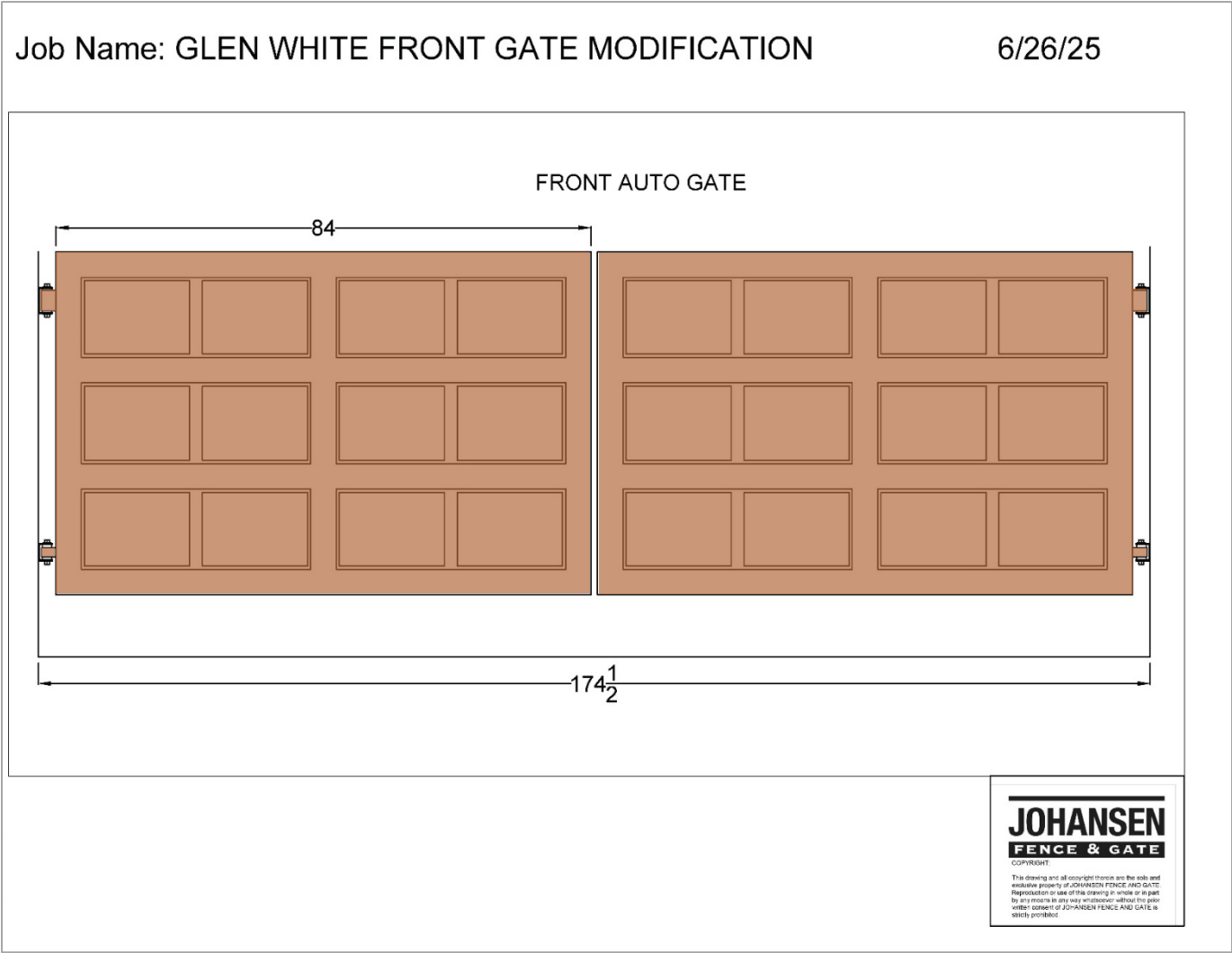


Gate removed, August 2016 (source: Google Street View)



Neighboring gate located across street between 75 and 85 W. Simpson St. used as basis for design of Property's new Carport Gate. Approved for HPZ compliance on September 30, 2020 (HPZ-20-034). Photos taken May 2025 (left) and April 2022 (right, from Google Street View).

Exhibit A.2.b.2: Proposed Modified Gate Design



Modifications to the existing Gate include the addition of twelve vertical sections (six per side) to emphasize verticality.

C. *Door Replacements and Window Restoration*

The House's western-facing doors and windows are relatively old and suffered significant damage during the 2024 summer monsoons, with hail and rain dramatically accelerating their deterioration. There are a total of two doors and three windows along the House's western elevation. Storm and hail damage included several broken glass windowpanes, chipped paint, dry rot, and warping to the doors' wooden panels and rails. (See *Exhibit A.2.c.1: Door & Window Damage*.)

The Owners initially wished to replace all doors and windows on the west side of the Main House with new custom-made, energy efficient Pella-brand products designed to match those that currently exist.

After feedback from the Barrio Historico HZAB, the Owners now wish to replace three of the House's four street-facing doors to match its main front door and restore the existing plate glass windows by replacing individual damaged panes. As shown in *Exhibit A.2.c.2: Proposed Replacement Doors*, the Owners now propose to replace the two existing western-facing doors with natural stained wooden replicas that retain the existing door design and match the color of the House's existing front door. The Owners also wish to replace the easternmost door along the House's northern-facing façade in anticipation of its eventual deterioration and to match the other replacement doors. All three replacement doors would be made of acacia wood and will be identical in design, contain low-emissivity tempered glass windows to mimic the existing doors and will provide privacy using interior curtains instead of frosting. If needed, the Owners are amenable to painting the replacement doors black to match the existing color; however, they would prefer a natural stain over paint to match the House's front door and believe a natural stain is the more historically accurate choice. The House's façade will retain the designs and black color of the existing door/window opening details.

The deteriorating state of the western doors and windows risk further exposing the House to the elements. As such, these should be replaced as soon as possible given the current summer monsoon season.

Exhibit A.2.c.1: Door & Window Damage



Broken single-pane plate glass windows, March 2025

Warping on wooden doors, March 2025

Exhibit A.2.c.2: Proposed Replacement Doors

Acacia Door



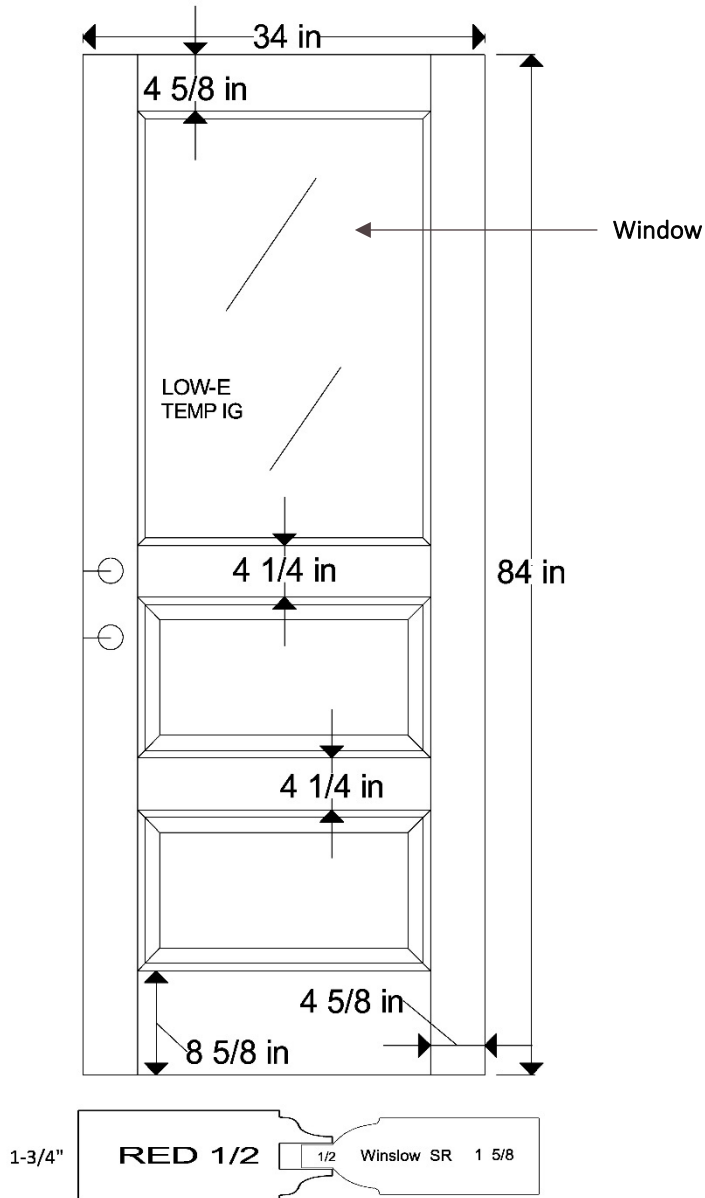
Butler Custom Doors

Jill - TREADWAY

Q-104286

Wood Type: Acacia w/
natural stain to match
front door.

Quantity: 3



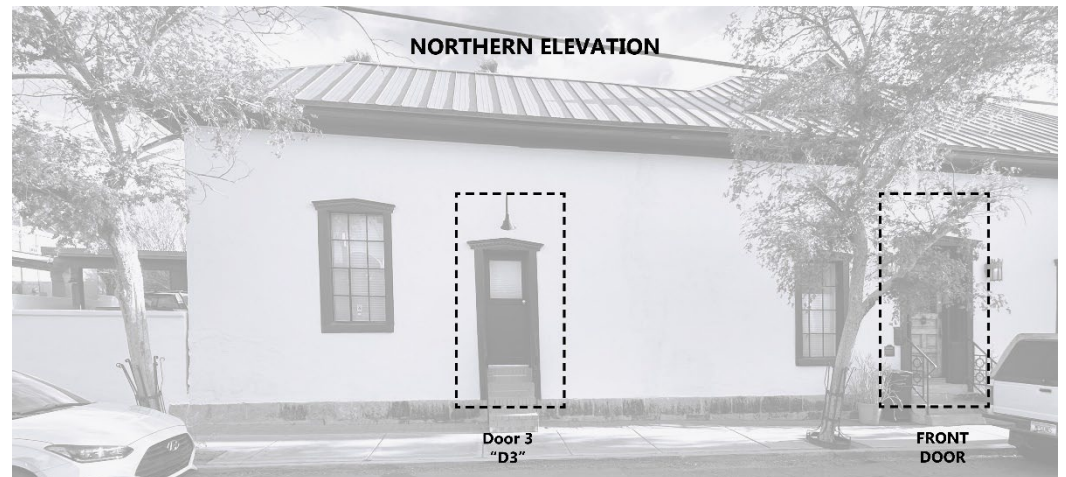
Proposed door elevation plans to match style and design of existing doors.



View of Front Door with example of natural wood stain desired by the Applicant. Photo taken July 2025.



View of Main House from Convent Ave. Photo taken March 2025.



View of Main House from Simpson St. Photo taken March 2025.

B. Compliance with Applicable HPZ Design Standards

The Project is subject to HPZ Design Standards and Development Criteria found in the City's Unified Development Code ("UDC") § 5.8.9 and Technical Standards Manual ("TSM") § 9-02. The Project complies with all applicable standards, as described below.

1. General

The Project reflects the architectural style and characteristics of the existing House and enhances the integrity of nearby buildings and streetscapes. The new Gate was designed to match the HPZ-approved gate across the street from the Property and will be designed to emphasize verticality over horizontality. The proposed replacement doors respect the historic character and architecture of this Property and are critical to the long-term preservation of the House. Existing windows will be restored, and broken glass panes will be replaced with "like for like" glass pane material.

2. Height

The Project does not alter the existing height of the Main House.

3. Setbacks

The Project does not alter the existing setbacks of the Main House. The new Gate system is in the same location as the old gate system it replaced. The new Gate opens inward and does not extend over the Property line, and motorized gate components are hidden from public view behind existing masonry walls.

4. Proportion

The Project does not alter the existing proportions or visual continuity of the Main House. The Gate replaced an existing gate system and enhances the visual continuity of the Main House along Simpson St. The replacement doors are custom-made to fit within the House's existing façade and do not alter existing proportions.

5. Roof Types

The current roof is compatible in configuration, massing, and material to that of the architectural style of Transformed Sonoran Row Houses. Aside from the change in exterior material, installation of the current roof has not altered the form or any unique features of the House; no alterations to existing chimneys, ridgelines, vents, or eaves were made during installation.

The current roof type reflects the style, material, and color of other roofs found within the Property's Development Zone. The House's standing seam metal roof style closely resembles those of several other homes on Simpson St. and is virtually identical to the roof style of 24 W. Simpson St., a contributing Transformed Sonoran Row House in the Property's Development Zone. The current roof's dark brown rust color matches the eclectic style and material of other metal roofs within the Property's Development Zone and was intentionally selected to match the dark brown color of the House's prior asphalt shingle roof. The

standing seam metal roofs of other contributing homes within the Property's Development Zone range in color from metallic gray/silver (24 W. Simpson St.) to light sage green (53 W. Simpson St.) and even royal blue (43 W. Simpson St.). Importantly, the House's current roof matches the rusted patina coloring on the roof of the Property's recently constructed Carport, which was built pursuant to HPZ historic review and approval in 2023. Both the roof manufacturer (ASC Building Products) and a local Tucson roof installer (Del Oro Roofing) has also advised against painting the metal roof after installation due to eventual deterioration of the post-production paint layer, roof system failure risks, and voiding of their warranty. (See *Appendix C: Metal Roof System Plans*.)

6. Surface Texture

TSM § 9-02.3.6 states: "Building materials and surface treatments found in Tucson's HPZs can vary from district to district. An application for renovation [...] must be compatible with the architectural context found in the particular development zone." As described in the Roof Types section above, the current replacement roof is compatible with the architectural and historical context of the Property's Development Zone.

The surface texture and modified designs of the rusted metal Gate are also compatible with the architectural and historical context of the Property's Development Zone. The Gate was intentionally designed to match the rusted metal paneling of a similar swinging gate across the street which also respect the architectural and historical context of Simpson St., as evidenced by its HPZ-approval in 2020.

The surface texture of the replacement doors has been designed to match the House's current front door as well as the style and patterns of those that currently exist. The replacement doors and existing window restoration respect the architectural and historical character of both the House and the Property's Development Zone.

7. Site Utilization

The Project does not alter the Property's existing site utilization.

8. Projections & Recessions

The Project does not alter the Main House's existing projections and recessions. Replacement of the exterior roofing material has not altered the original form or specific features of the existing roof. Decorative roof projections visible from the sidewalk around the eaves were not altered during the roof replacement.

The replacement doors will be custom-made to fit seamlessly within the existing recessions of the House's façade.

9. Details

Other than the replacement of exterior asphalt shingles for long-term preservation purposes, the current metal roof has not altered any significant original roof details.

The Gate introduces a new yet subtle design detail to the Main House; however, the Owners believe the rusted metal material and modified grid pattern of the new Gate are compatible with the House's historical period. The Gate's modified design mimics the style, material, and

color of an existing HPZ-approved gate within the Property's Development Zone and emphasizes verticality over the horizontal appearance of the existing design. The square grid pattern of the new Gate also matches that of the doors and windows of the Main House.

The custom replacement doors will be aesthetically and materially similar to those that exist today and compatible with the architectural style of this Transformed Sonoran Row House. (See *Exhibit A.2.c.2.*) The Project proposes replication of the door designs that currently exist along the western façade (i.e., transparent window on top and two wooden detail panels on the bottom). Additionally, D2's existing modern stain-glass element (potentially inappropriate for the House's historic character) will not be included in the updated door proposals. Doors will also retain existing side lights as they are currently arranged and utilize interior curtains for privacy instead of frosted glass, which is not historically appropriate for this House.

TSM § 9-02.3.9 states: "[...] compatibility does not mean exact duplication of architectural details. [...] the replacement should be of the same material and type as the original, or an alternative material accepted by the HZAB. Aluminum, vinyl, and fiberglass materials are not allowed." The overall form, style, and material of the replacement doors, which are made of acacia wood and use a natural stain to match the House's existing historic front door, are historically compatible with the area. Other existing door components such as lintels, molding, framing, and sills will be retained.

10. Building Form

The Project does not alter the Main House's building form.

11. Rhythm

The Project does not alter the Main House's rhythmic elements. The Gate and its proposed design modifications improve the historical accuracy and visual continuity of the streetscape along Simpson and enhance the architectural rhythm of the Property's Development Zone by closing-off a prior void in the massing of homes along Simpson.

12. Accessibility Features (UDC only)

No accessibility features are proposed as part of this Project.

13. Additional Review Standards (UDC) and Supplemental Review Criteria (TSM)

In addition to the above, the following factors may be considered in the review process: color, landscaping, enclosures, and utilities. Of these, only color and enclosures are applicable to this Project.

The Project retains the existing colors of the Main House, including recurring rusted elements and the overall contrasting color scheme of the roof and stucco façade. The colors of the roof, gate, doors, and windows are all compatible with the architectural styles of Transformed Sonoran Row Houses and the historical context of the Property's Development Zone.

The Gate was installed to enclose the perimeter of the driveway and enhance the privacy of the Owners. The Gate's rust color and grid pattern are compatible with the architectural

style of the Main House and the Property's Development Zone. The height of the new Gate matches those of the existing masonry pillar and pony wall along the north side of the driveway. Both the Gate and the walls are approximately four feet in height (appropriate for front-facing enclosures) and are made of historically appropriate materials. The proposed modified Gate designs lessen the horizontal appearance of the existing design, making the Gates as historically appropriate as possible.

14. Specific HPZ Guidelines for Barrio Historico (TSM only)

The Project respects the architectural character of this Transformed Sonoran Row House and the surrounding streetscape. Original sizes and shapes of doors and windows will remain. Replacement doors conform to the original size and style of the Main House. Replacement units are made of acacia wood, a period-appropriate material for modern improvements within HPZs. No flush mounted or sliding glass doors are proposed. No aluminum windows, doors, or screen frames are proposed. Windows will be restored, not replaced as initially proposed. Damaged windowpanes will be replaced with "like for like" glass panes in keeping with the historic character of the House. The windows' metal frames will be retained. Restoration will be performed by a local professional.

The Gate replaces an older system which had been inoperable for years. The Gate's modified design significantly improves the visual continuity of the Main House and surrounding streetscape in a way that is respectful of the area's architectural and historical context.

The current standing seam metal roof represents one of several common types found within the Barrio Historico HPZ, as historic roof forms and elements vary throughout the neighborhood. No changes are proposed to exterior wall materials. No new site elements (walls, fences, landscaping, etc.) are proposed for this Project.

(See Appendix F: Arizona Historic Property Inventory Form.)

15. Maintenance (UDC only)

UDC § 5.8.11 requires owners of HPZ contributing properties to maintain their historic structures and sites to preserve the HPZ's unique sense of place. Owners of such properties are obligated to protect their properties "against decay and deterioration" and keep them "in a state of good repair and free from certain structural defects". This provision lists specific examples of repair "indicators", including deteriorating ceilings, roofs, broken windows and doors, and weather damage.

Though the Applicants performed unpermitted work on their roof, that work was nonetheless carried out in a timely manner and in good faith to avoid further damage to this historic property. Though work on both the roof and Gate lacked formal historic review and permits, it cannot be denied that the Applicants thoughtfully and responsibly considered the historic character of their home and neighborhood when making decisions for these improvements, as evidenced by the color and materials of the roof and Gate, the retention of all historic rooftop details, and the use of an existing HPZ-approved gate within the Property's

Development Zone as a model for the new Gate's design. The Applicants also wish to be responsive to HZAB recommendations regarding the Gate's modified vertical design.

APPENDIX A: PHOTOS OF EXISTING PROPERTY





Northern elevation of Main House viewed from Simpson St.



Detail of eaves on underside of roof.



Main House, NE corner, view of Carport (left).

APPENDIX B: PHOTOS OF SURROUNDING AREA





350 S. Convent Ave. (white) and 340 S. Convent Ave. (beige).





Looking south along Convent Ave. at intersection of Simpson St. Property pictured in center.



Looking north along Convent Ave. from 387 S. Convent Ave. (beige/pink house to right). Property pictured in center.





View of north side of Property: Main House (white) and Duplex (yellow) with Carport in middle (rust color), view of Simpson St. looking southeast.





24 W. Simpson St. (at east end of Property's Development Zone).
Note the Transformed Sonoran Row House style with standing
seam metal panel roof identical to style of Main House's roof and
dark colored wooden doors and windows in grid pattern.

APPENDIX C: METAL ROOF SYSTEM PLANS

[See next page.]

Fw: Roof Painting Follow-Up

From Jackson Cassidy <jcassidy@lslawaz.com>

Date Thu 7/31/2025 11:25 AM

To Jackson Cassidy <jcassidy@lslawaz.com>

From: Hillhouse, Erik <erik.hillhouse@ascbp.com>

Sent: Thursday, July 31, 2025 7:35 AM

To: Jackson Cassidy <jcassidy@lslawaz.com>

Cc: Ferrito, David <david.ferrito@ascprofiles.com>

Subject: RE: Roof Painting Follow-Up

Jackson,

Good morning. Like I said to you on the phone, our paint system is proprietary. It is applied in multiple steps at our coating facility. This process is not something that can be duplicated in the field after installation. Any altering to the paint coating will void the warranty. I hope this helps. Please let me know if you have any additional questions and I will be happy to help.

Best Regards,

Erik Hillhouse

Sales Representative

ASC Building Products

(509) 536-8435 – Direct Number

(909) 953-3623 – Cell Number

Tough times never last, but tough people do. – Robert H. Schuller



PROPOSAL

JUL 24, 2025



GLENN WHITE

Dustydelrio1@gmail.com

92 W. Simpson St

Tucson, AZ

85701

INSPECTION REPORT

Date of Inspection: July 21, 2025

Inspector Name: James S.

Client Name: Glenn White

Property Address: 92. W Simpson St

General Roof Condition: Good

Roof Type: Metal

Visible Signs of Wear & Tear: No

Immediate Repairs Needed: No

Overall Assessment: Metal Roof Appears to be in good condition. Owner states roof was installed 1 year ago. Seeking to Paint elastomeric over metal.

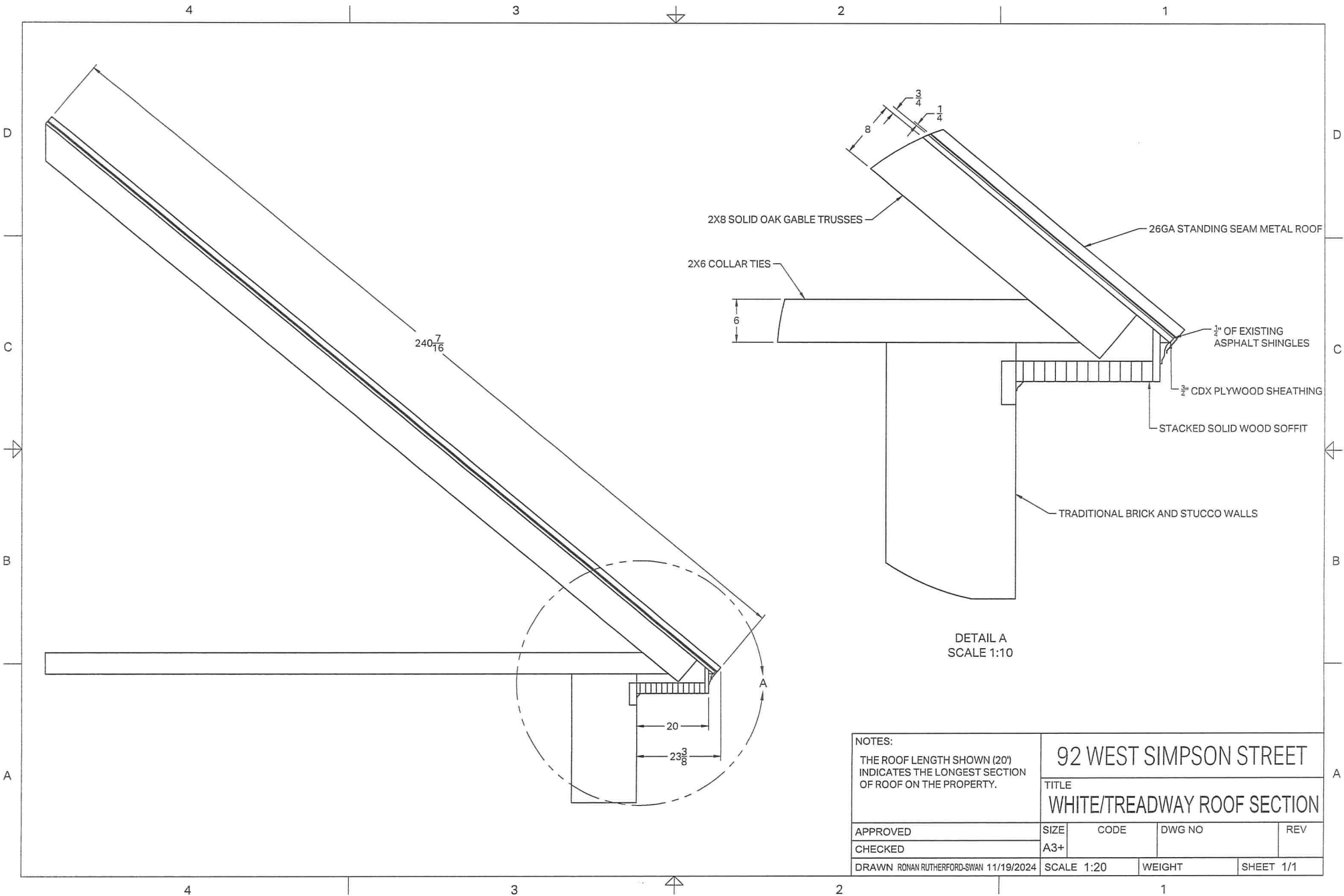
Recommended Repairs or Replacements: Standing seam is a lifetime roof that needs minimal maintenance. We do not recommend painting because it will cause premature failure to the roofing system. There is no guarantee on how long roof coating will last on Standing seam.

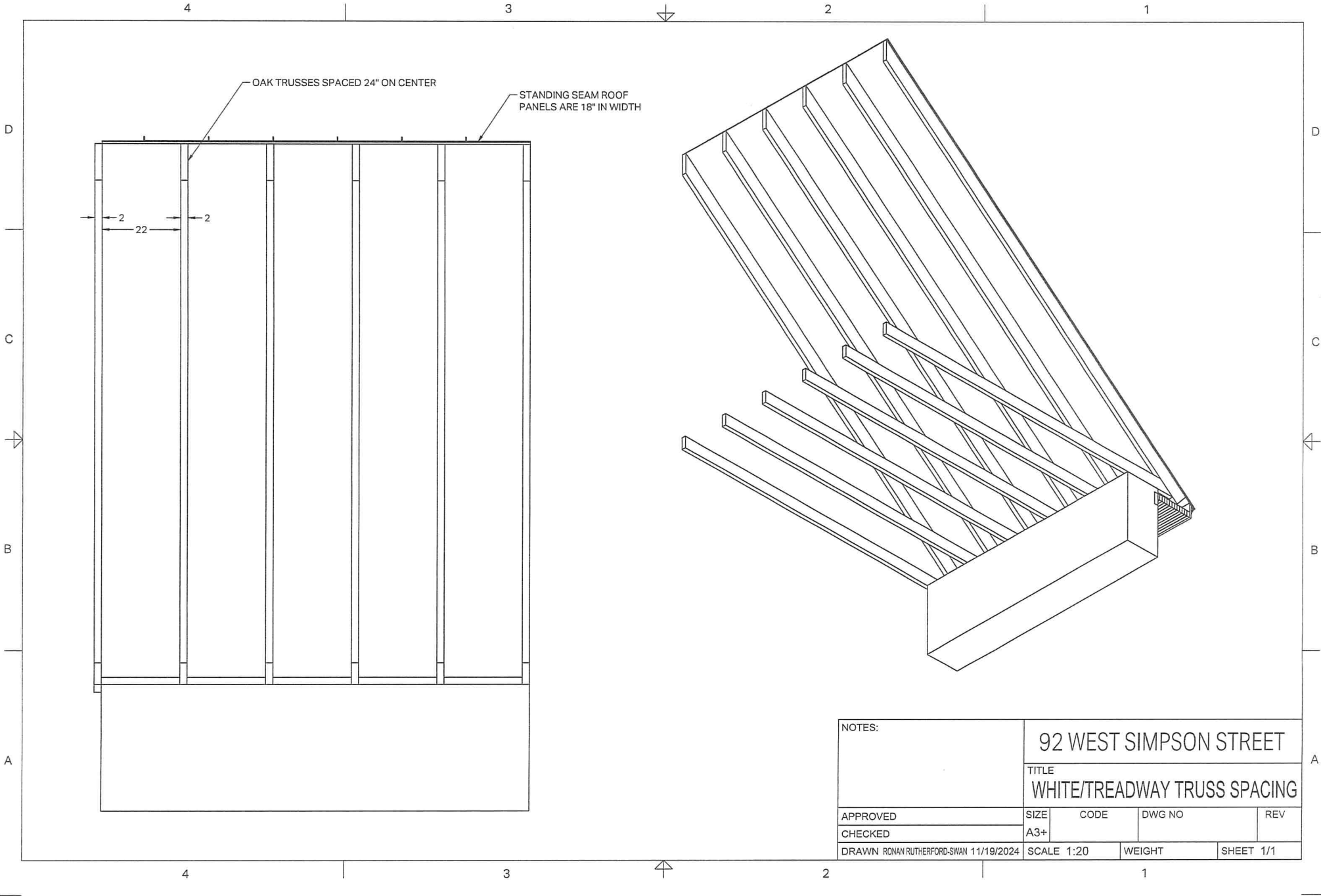
Inspector Notes: Without prior knowledge or history of the roof this inspection is based off what was shown or seen the day of initial inspections.

SHINGLES

Description
Roof Maintenance
NONE NEEDED AT THIS TIME

Estimate subtotal	\$0.00
Total	\$0.00





NOTES:		92 WEST SIMPSON STREET			
		TITLE WHITE/TREADWAY TRUSS SPACING			
APPROVED		SIZE	CODE	DWG NO	REV
CHECKED		A3+			
DRAWN RONAN RUTHERFORD-SWAN 11/19/2024		SCALE 1:20	WEIGHT	SHEET 1/1	



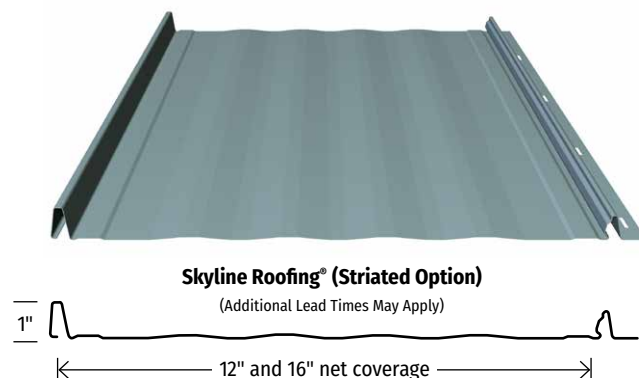
Skyline Roofing®

STANDING BY OUR PRODUCTS
AND WARRANTIES FOR OVER 50 YEARS

Skyline Roofing is a standing seam metal panel with a concealed fastener design. With clean lines and lasting performance, Skyline Roofing panels have long been a top choice for residential roofing.

FEATURES AND BENEFITS

- 12" and 16" coverage roof panel.
- Minimum recommended slope 3:12.
- Available in 26ga Dura Tech™ xl colors and the 16" panel is also available in ZINCALUME® Plus and Natural Rust.
- Limited Lifetime Warranty for residential applications.
- Custom manufactured panel lengths: 4'-0" to up to 50'-0".
- Subtle striations available - Additional lead times may apply.
- Snap-together panel, no field seaming required.
- Testing: ASTM E1592 (wind uplift) All testing performed by accredited third-party.
- Roof assemblies Class A Fire Rated when installed on non-combustible deck or framing per IBC, IRC or when installed in accordance to UL listings (UL790).
- Class 4 Impact (Hail) Resistance rated per UL 2218.
- Panel evaluated by accredited third party. All structural performance data is contained within Building Code Approval Report: IAPMO-UES #ER-0309.






















Cool DURATECH^{XL}

Keeps the heat out and the color brilliant.

Superior color retention • Chalk and fade resistant • Energy saving colors.

Standard Offer

			
Forest Green SRI: 36 • LRV: 8	Denali Green SRI: 29 • LRV: 11	Everglade SRI: 35 • LRV: 19	Tahoe Blue SRI: 33 • LRV: 14
			
Slate Gray SRI: 32 • LRV: 13	Old Town Gray SRI: 43 • LRV: 27	Zinc Gray SRI: 43 • LRV: 22	Weathered Copper SRI: 32 • LRV: 11
			
Rustic Red SRI: 43 • LRV: 13	Patina Steel SRI: 38 • LRV: 17	Matte Black SRI: N/A • LRV: 5	Winter White SRI: 88 • LRV: 74
			
Classic Brown SRI: 29 • LRV: 7	Chestnut Brown SRI: 36 • LRV: 12	Light Stone SRI: 70 • LRV: 53	Taupe SRI: 53 • LRV: 28
			
ZINCALUME® Plus SRI: 64 • LRV: 67	Copper Penny* SRI: 53 • LRV: 28	Natural Rust* SRI: 32 • LRV: 10	

* Please note these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects. We recommend that you request a sample of current stocked material to review actual color before ordering to ensure color accuracy. We are not responsible for color variations.



REPRESENTATION OF COLORS MAY VARY DUE TO PRINTING LIMITATIONS.
Sample color chips are available upon request. Consult your ASC Building Products representative for more information.



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Color Specifications



Natural Rust

SRI: 32 • LRV: 10

Dura Tech™ x/ Prints (SMP)

Limited Lifetime Warranty

Dura Tech x/ Print Residential
Warranty PDF | RTF

25 Year Warranty

Dura Tech x/ Print Non Residential
Warranty PDF | RTF

AVAILABLE IN THE FOLLOWING METAL
ROOFING AND SIDING PANELS AND
GAUGES:

- > [16" Skyline Roofing® – 26 Gauge](#)
- > [2 1/2" Corrugated – 29 Gauge](#)
- > [36" Nor-Clad® – 29 Gauge](#)
- > [36" Strata Rib® – 29 Gauge](#)
- > [36" Nu-Wave® Corrugated – 26 Gauge](#)

SEE COLORS ON YOUR HOME

FIND A DISTRIBUTOR NEAR YOU

REQUEST A QUOTE TODAY

GET SAMPLES TODAY

MORE INFORMATION ON COLORS
AND WARRANTIES

Please note that these colors are batch sensitive (may have color variation) and are directional in nature. Different batches are not to be mixed on projects. We recommend that you **request a sample** of current stocked material to review actual color before ordering to ensure color accuracy. **We are not responsible for color variations.**

APPENDIX D: APPROVED CARPORT SITE PLAN

[See next page.]

SITE PLAN NOTES:

• PROVIDE ADDRESS • NEW RESIDENCE W/ NUMBERS THAT ARE VISIBLE AND LEGIBLE FROM STREET PER 2018 IRC SECTION R309

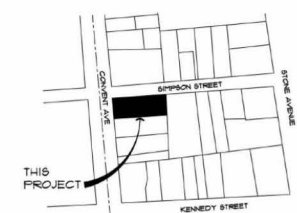
CODES & CODE EDITIONS BEING USED FOR THIS PROJECT ARE AS FOLLOWS:

2018 INTERNATIONAL RESIDENTIAL CODE

ZONING:
HO-3

DRAWING INDEX

- A1 SITE PLAN
- A2 PLAN/ELEVATIONS
- A3 SECTION/DETAILS
- A4 FOUNDATION/ROOF FRAMING
- E1 ELECTRICAL PLAN

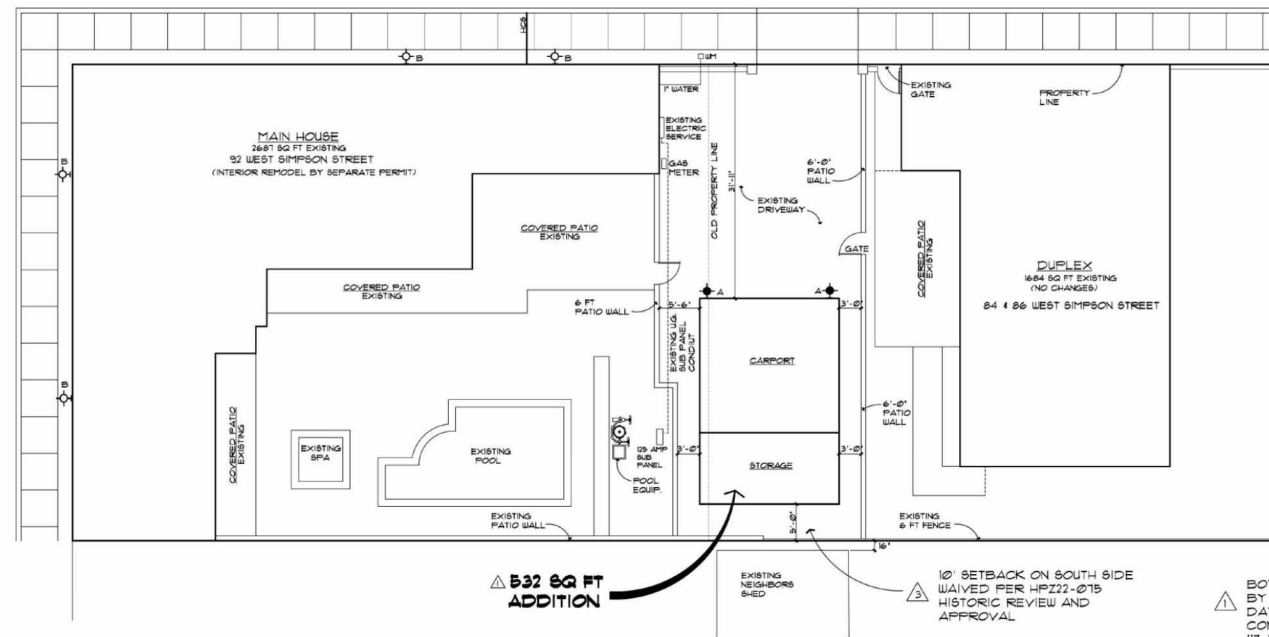


LOCATION MAP
NTA

SIMPSON STREET

CONVENT AVE

ZONING:
HO-3



ZONING:
HO-3

△ 532 SQ FT ADDITION

10' SETBACK ON SOUTH SIDE
WAIVED PER HP22-015
HISTORIC REVIEW AND
APPROVAL

△ BOTH LOTS COMBINED
BY PIMA COUNTY ASSESSOR
DATED JULY 28, 2022
CONSOLIDATION OF PARCELS:
117-14-184A AND 117-14-183C
NEW PARCEL #117-14-184A

LOT COVERAGE CALCS:

EXISTING DWELLING: 2681 SQ FT
EXISTING DUPLEX: 1684 SQ FT
TOTAL UNDER ROOF: 4371 SQ FT
EXIST. DRIVEWAY/VEHICULAR USE AREA: 691 SQ FT
NEW CARPORT: 532 SQ FT
TOTAL LOT COVERAGE: 4964 SQ FT
AREA OF LOT: 10346 SQ FT
TOTAL LOT COVERAGE: 53%
10% ALLOWABLE

ZONING:
HO-3

NOTE:
PROVIDE UNDERGROUND
FACILITY TRACER WIRES
PER BUILDING DIVISION MEMO
ORANGE #8 • COMMUNICATION CABLE
BLUE #8 • WATER LINES
GREEN #8 • SEWER LINES
YELLOW #8 • GAS LINES
PURPLE #8 • 2" OR GREATER SPRINKLER
WHITE #8 • POOL PIPING AND EMPTY CONDUIT

Contact Arizona 911 at least two (2) working days before you begin excavation
Call 911 or click Arizona911.com

Engineering Approval
J. Evans
06/15/2023
PLANNING & DEVELOPMENT SERVICES
CHECK TO VERIFY IN RIGHT OF-WAY
Separate Right-of-Way permit required

Historic Approval
J. Brown
06/06/2023
These plans have been approved by
Historic staff as consistent with the US
Secretary of the Interior's Standards and
the Director's Decision Letter. Any
changes to the exterior require
additional review by historic staff

SITE PLAN
SCALE: 1/8"=1'-0"
North

- SHIELDED LIGHT (NEW)
- UNSHIELDED LIGHT (EXISTING)

Zoning Approval
Building Plan
S. Shield
06/07/2023
TUCSON PLANNING & DEVELOPMENT SERVICES
HO-3 - Detached Carport/Storage
Addition

REVIEWED FOR
BUILDING CODE
COMPLIANCE
K. Van Karsen
06/15/2023
TUCSON PLANNING & DEVELOPMENT SERVICES

HISTORIC PERMIT # T226A00488
HISTORIC REVIEW: HPZ 22-015 APPROVED 4/28/2023

REVISIONS	BY
1. G.P. 8/15/2022	NT
2. P. 8/15/2022	NT
3. G.P. 8/15/2022	NT

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Tucson, Arizona 85728
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R.O.C. License # B-182722

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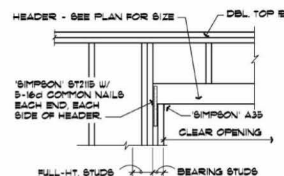
WHITE-TREADWAY CARPORT
32 WEST SIMPSON AVE
TUCSON, ARIZONA 85710
TAX CODE: 117-14-184A

SITE PLAN

DATE: 9/1/2022
SCALE: AS NOTED
DRAWN: NT
JOB: 2022-179
SHEET
A-1

NOTES:

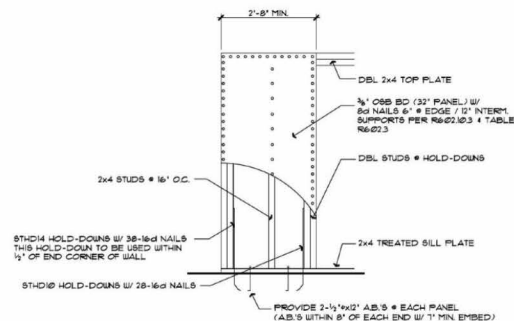
- EXTERIOR WALLS TO BE 2x4x8 @ 16" O.C. w/ 1/2" PLYWOOD OR EQUAL SHEATHING AND R-13 FG. BATT INSULATION @ 16" O.C. SIDING OVER EQUAL BUILD UP. SEE SECTION 05110 FOR FINISHES.
- INSULATE WALLS W/ R-13 BATT SCHEDULING R-16 BATT.
- INTERIOR WALLS TO BE 2x4x8 AT 16" O.C. (ENG) AND 2x4x8 AT 24" O.C. (NON-BEARING).
- PROVIDE FIREBLOCKING AT ALL JOISTS AND PURR DOWNS.
- MANUFACTURERS INSTALLATION INSTRUCTIONS AS REQ'D BY THE IRC FOR LISTED APPLIANCES SHALL BE AVAILABLE ON SITE AT TIME OF INSPECTION PER IRC AND LOCAL CODES.
- CONSTRUCTION PROJECTIONS, OPENINGS, AND PENETRATIONS OF EXTERIOR WALLS SHALL COMPLY W/ TABLE 307.2 OF 2018 IRC.
- ALL PENETRATIONS OF THE GARAGE-DWELLING SEPARATION AREA TO BE PROTECTED BY FILLING IN THE GROUND FLOOR. THE PENETRATION W/ APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION PER 2018 IRC SECTION R302.5.
- ALL JOINTS, BARS, PENETRATIONS AND OTHER SOURCES OF AIR LEAKAGE SHALL BE PREVENTED BY FILLING IN THE GROUND FLOOR ENVELOPE AREA TO BE CAULKED, GASKETED, UNWAPPED, OR OTHERWISE SEALED TO PREVENT AIR MOVEMENT PER INTERIOR SECTION 05110.



OPENING	BEARING STUDS	FULL-HT. STUDS
Ø'-Ø" TO 4'-Ø"	1-2X	2-2X
4'-1" TO 8'-Ø"	2-2X	3-2X

1 HEADER FRAMING

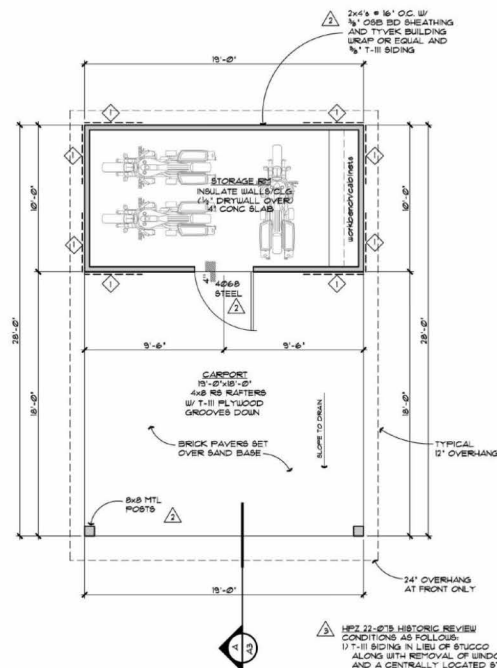
SCALE: $\frac{3}{4}'' = 1'-0''$



2 BRACED WALL PANEL

NTS

IF APPLICABLE



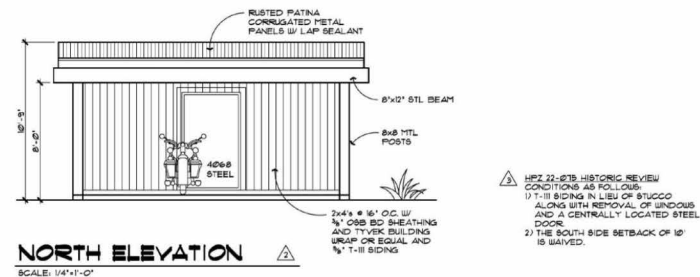
North
FLOOR PLAN

6 GAL E: 1/4", 1", 2"

B32.60 ET. ADDITION.

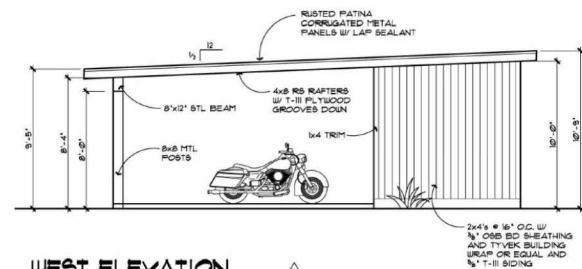


- PROVIDE DEL STUDS •
ALL HOLD-DOWN LOCATIONS
- 1 3/4" OSB BD (48" PANEL) W/
BD NAILS 6" • EDGE / 12" INT'L
SUPPORTS PER R662.10.3 • TABLE
R6-0.3
- 2 3/4" OSB BD (32" PANEL) W/
BD NAILS 6" • EDGE / 12" INT'L
SUPPORTS PER R662.10.3 • TABLE
R6-0.3
- PROVIDE 2-1/2"x12" A.B.S. • EACH PANEL
SILL PLATE WITHIN 6" OF EA END W/ 1-SIMPSON
STANDARD HOLD-DOWN W/ 28-lbd NAILS
• 1-SIMPSON STANCHION W/ 28-lbd NAILS WITHIN 15" FROM
CORNER W/ 28-lbd NAILS



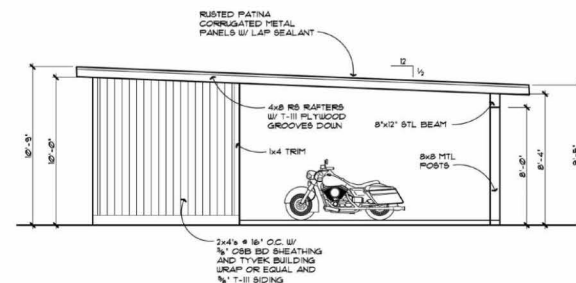
NORTH ELEVATION

SCALE: 1/4"=1'-0"

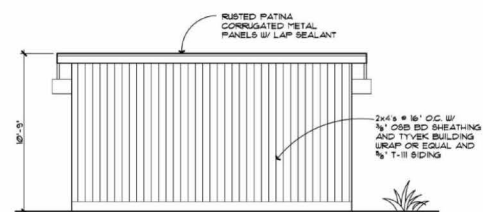


WEST ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

 $\text{AGAL E: } 1/4'' \cdot 1'' \cdot 0$ 

SOUTH ELEVATION

$$\text{SCALE} = 1/4^{\text{th}} \times 1^{\text{st}} = 0$$

REVISIONS		BY
	CGL 8/4/2022	NT
PRELIMINARY COMMENTS		12/2/2023
	CGL 5/3/2023	NT

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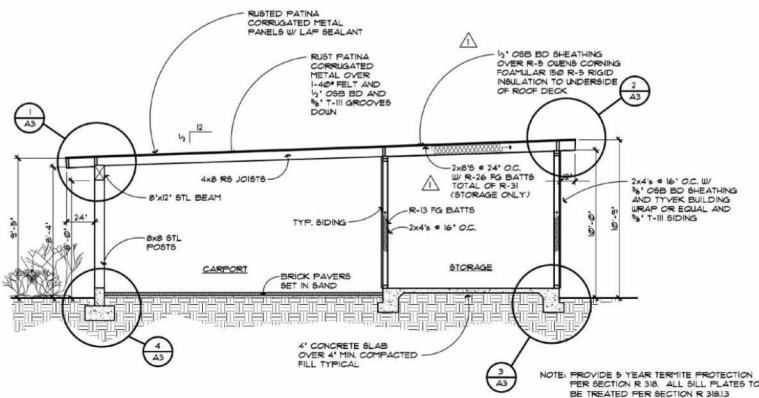
WHITE-TREADWAY CARPORT

32 WEST SHUFSON AVE
TUCSON, ARIZONA 85701
TAX CODE: IT-14-1B-A

CARPORT PLANE/ELEVATIONS

DATE: 9/21/2022
SCALE: AS NOTED
DRAWN: NT
JOB#: 2022-179
SHEET

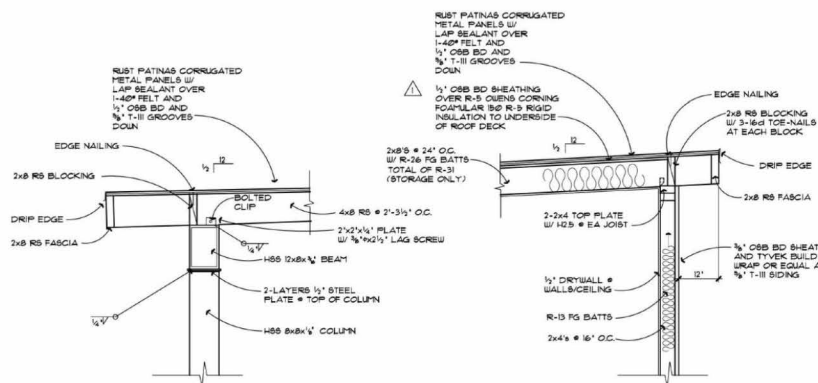
A-3

[illegible]

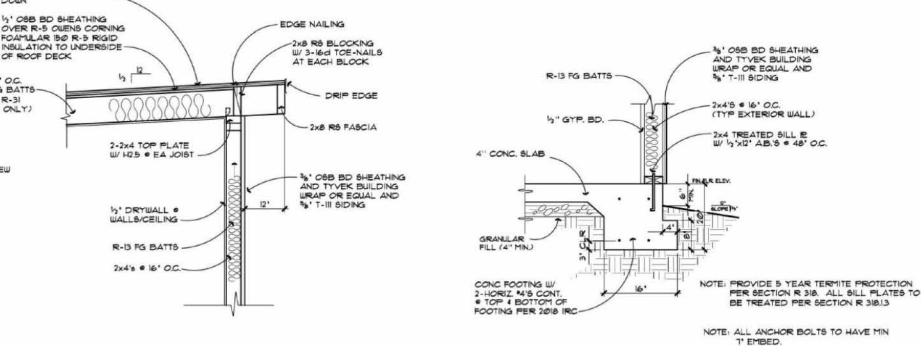
SECTION A
SCALE: 1/4"=1'-0"

3) HPZ 22-075 HISTORIC REVIEW
CONDITIONS AS FOLLOWS:

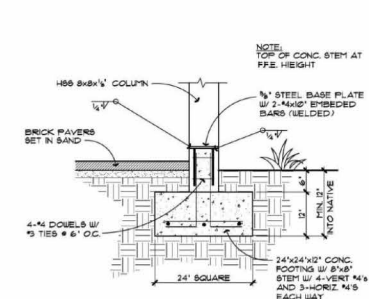
- 1) T-III SIDING IN LIEU OF STUCCO
ALONG WITH REMOVAL OF WINDOWS
AND A CENTRALLY LOCATED STEEL
DOOR.
- 2) THE SOUTH SIDE SETBACK OF 10'
IS WAIVED.



② **CARPORT BEAM**
SCALE: 3/4" = 1'-0"



3 EXTERIOR WALL FOOTING

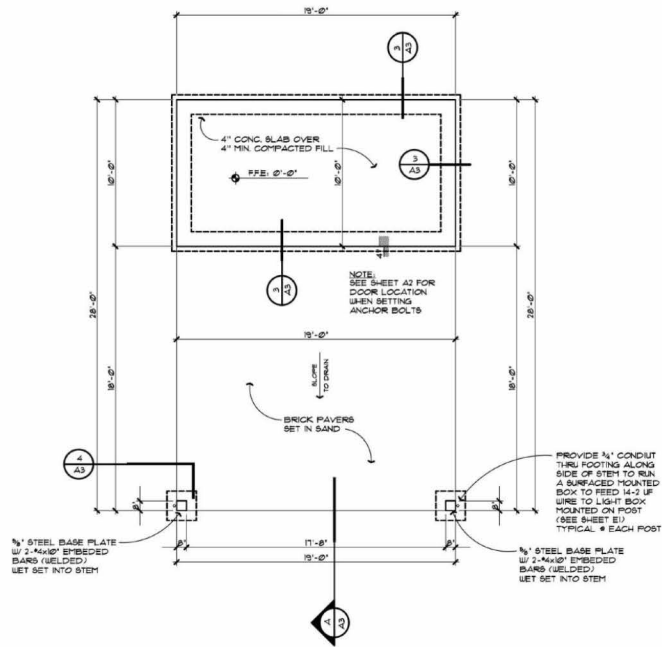


4 CARPORT POST
SCALE: 3/8"=1'-0"



FOUNDATION NOTES:

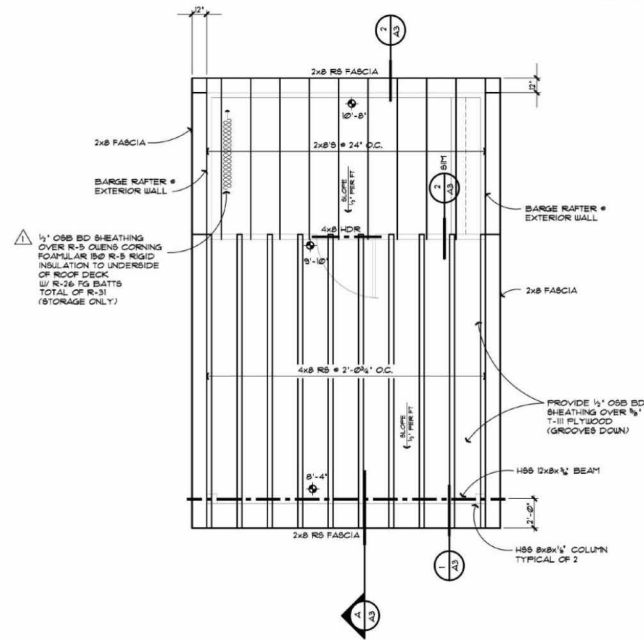
1. ALL FOOTINGS TO EXTEND MIN 12" INTO NATURAL GRADE (5000 BKG PRESSURE PER 2018 IRC TABLE 401.4) (1-STORY)
2. PROVIDE 5 YEAR TERMITES PROTECTION PER SECTION R308. ALL BILT PLATES TO BE TREATED PER SECTION R308.13 (2018 IRC)
3. SLEEVE ALL PIPING THRU FOUNDATIONS
4. EXPANSION JOINTS TO OCCUR BETWEEN HOUSE STEM AND ALL OTHER FOUNDS (AND AS REQ'D)
5. ALL ANCHOR BOLTS THAT ANCHOR FRAME WALLS TO FOUNDATIONS SHALL BE 1/2" x 48" O.C. W/ MIN 1" EMBEDMENT PER 2018 IRC SECTION R403.1.6
6. ALL CONCRETE TO BE MIN 2500 PSI
7. ALL COMPACTED FILL TO BE 95% MIN.

**FOUNDATION PLAN**

SCALE: 1/4"=1'-0"

NOTE: THE FOUNDATION DESIGN IS BASED ON AN ASSUMED 1500 PSF SOIL BEARING PRESSURE. IT IS ASSAIED THAT THE SOIL IS NON-EXPANSIVE NON-COLLAPSIBLE STABLE SOIL. NO SOIL REPORT WAS PROVIDED FOR THIS PROJECT. CONTRACTOR SHALL VERIFY THIS ASSUMPTION.

NOTE: UNVENTED ATTIC AS PER CODE 2018 IRC SECTION R405.5)

**ROOF FRAMING PLAN**

SCALE: 1/4"=1'-0"

INDICATES HEIGHT FROM FINISH FLOOR 0'-0" TO BOTTOM OF JOISTS

FRAMING NOTES:

1. WALL STUDS & STRUCTURAL LUMBER TO BE #2 DF OR BETTER AND SHALL BEAR AN APPROVED GRADING STAMP
2. ALL BEAMS TO BE #2 DF (FREE OF HEART CENTERS) AND SHALL BEAR AN APPROVED GRADING STAMP
3. ALL METAL TIES TO BE "SIMPSON STRONG-TIE" OR EQUAL
4. ALL WALL FRAMING AND ANCHORING PER 2018 IRC SECTION R602
5. ALL ROOF-CEILING FRAMING AND ANCHORING PER 2018 IRC SECTION R602
6. NAILING PER 2018 IRC TABLE R602.3(1)
7. PROVIDE DBL TOP PLATES & BEARING WALLS OVERLAPPING & CORNERS & INTERSECTIONS W/ BEARING PARTITIONS. END JOINTS IN TOP PLATES SHALL BE OFFSET > LEAST 24 INCHES PER 2018 IRC R602.3.2
8. PROVIDE FIRE BLOCKING AT ALL FURN-DOWNS AND SCOFFINS PER 2018 IRC R602.8
9. ROOF SHEATHING SHALL BE 1/2" APA RATED OSB W/ 6d NAILS & 4" O.C. EDGE & 12" O.C. FIELD
10. PROVIDE DBL STUDS (MIN) & ALL BEAMS & GIRDER TRUSSES UNO.
11. ALL BILLS AND SLEEPERS THAT REST ON CONCRETE SHALL BE OF AN APPROVED SPECIES AND GRADE OF LUMBER, PRESERVATIVE TREATED PER IRC SECTION R303
12. FIELD CUT ENDS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE TREATED WOOD ARE TO BE RETREATED IN THE FIELD IN ACCORDANCE W/ ALUPA M4. PER THE 2018 IRC SECTION R303.2.2
13. ALL STUD WALL TOP PLATES TO BE DOUBLE MEMBERS AND SPLICED W/ MIN 48" LAP AND 18-16d NAILS

NOTE:
NAILING PER 2018 IRC TABLE R602.3(1) W/ ALTERNATE ATTACHMENTS PER TABLE R602.3(2) EXCEPT STAPLE OPTION FOR THE 8d COMMON NAILS CALLED FOR ON THE PLANS FOR SHEAR WALL. SHEATHING IN THE SHEAR WALL SCHEDULE MAY BE REPLACED W/ 1/2" LONG 16 GAUGE STAPLES W/ A MINIMUM CROWN OF 1/16" x 3" O.C. & EDGES & 6" O.C. & FIELD. ALL OTHER REQUIREMENTS REMAIN THE SAME.

REVISIONS	BY
1. G.D.L. 8/12/2022	NT
2. FRAMING 12/12/2023	NT
3. G.D.L. 5/12/2023	NT

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WHITE-TREADWAY CARPORT
32 WEST SIMPSON AVE
TUCSON, ARIZONA 85701
TAX CODE: 117-14-1844
FOUNDATION/ROOF FRAMING

DATE: 9/12/2022
SCALE: AS NOTED
DRAWN: NT
JOB#: 2020-179
SHEET

A-4



MAIN HOUSE PANEL

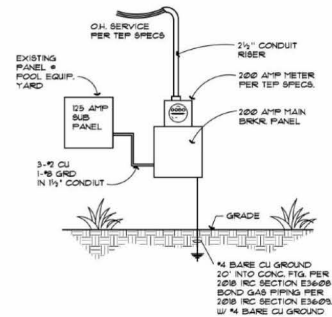
200 AMP MAIN BRKR

DESTINATION	CIR	BRKR	AUG	AUG	BRKR	CIR	DESTINATION
RANGE	1	50	6-3 CU			2	SPARE
3		2P	W/ GRD			4	SPARE
LTS/RECEPTS	5	20	12-2 CU	20	2P	6	LTS/RECEPTS
7						8	
9						10	
11						12	BEDROOM A/C
SUB PANEL	13	10	3-4 CU	10-3 CU	2P	14	
15		2P	W/ GRD			16	DRYER
WASHER	17	20	12-2 CU			18	
CU-DISP	19			12-2 CU	20		KITCHEN GFCI
DINING RM	21					22	KITCHEN GFCI
EXTERIOR GFCI	23					24	MASTER BATH GFCI
EXTERIOR LIGHTS	25					26	MASTER BATH
FAMILY RM	27					28	LAUNDRY
SORTER	29					30	BATH GFCI

SUB PANEL

125 AMP MAIN BRKR

DESTINATION	CIR	BRKR	AUG	AUG	BRKR	CIR	DESTINATION
MAIN	1	10	3-4 CU			2	SPARE
3		2P	W/ GRD			4	SPARE
SPARE	5			14-2 CU	10	6	POOL LIGHT
POOL EQUIP	7	20	12-3 CU	14-2 CU	10	8	CARPORT LTS
9		2P	W/ GRD	12-2 CU	10	10	CARPORT GFCI
SPARE	11					12	SPARE
SPARE	13			8-3 CU	60	14	A/C UNIT
15				W/ GRD	2P	16	



EXISTING RISER

N.T.S.

AT MAIN HOUSE

ELECTRICAL NOTES:

- SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE FOLLOW-UP FIRE ALARMING EQUIPMENT PROVISIONS OF NFPA-72 AND INSTALLED IN LOCATIONS INDICATED IN 2018 IRC SECTION E3401
- INSTALL ALL OUTLETS PER 2018 IRC SECTION E3401
- ALL GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION PER 2018 IRC SECTION E3401
- LIGHTING FIXTURES AND CEILING FANS TO BE INSTALLED AND LOCATED IN ACCORDANCE WITH SECTION E3401 THROUGH E3406 OF THE 2018 IRC. SUPPORT OF FANS PER E3403 AND E3404
- RECESSED FIXTURES TO HAVE THERMAL PROTECTION PER E4003.5
- FIXTURES INSTALLED IN SET LOCATIONS SHALL BE INSTALLED PER E4003.5. ALL FIXTURES TO BE LABELED "OUTLETS FOR SET LOCATIONS" SUCH FIXTURES SHALL BE OF THE SEAT-PROOF TYPE PER E4003.5
- FIXTURES IN CLOTHES CLOSETS TO BE PER E4003.2 OF 2018 IRC
- RECEPT OUTLETS FOR RANGES & CUPBES DRIVERS TO BE THREE POLE WITH GROUND TYPE. FOUR LINE GROUNDING TYPE FLEXIBLE CORDS WILL BE REQUIRED FOR CONNECTION OF RANGES & DRIVERS. THE BONDING SPPR SHALL NOT BE CONNECTED BETWEEN THE NEUTRAL TERMINAL & THE FRAME OF THE APPLIANCE PER 2018 IRC SECTION E3401
- ALL NEW RESIDENTIAL CIRCUITS TO BE ARC-FAULT PER 2018 IRC SECTION E3401 AND E3401.1
- ALLOWABLE APPROXIMATE CONDUCTOR SIZE CONDUCTOR TEMPERATURE PER 2018 IRC TABLE E3101 & 10 TO FOR ALUMINUM
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2018 IRC CHAPTERS 34 THRU 43
- PROVIDE TAMPER RESISTANT RECEPTACLES ARE REQUIRED IN AREAS SPECIFIED IN SECTION E3401 EXCEPT WHERE MORE THAN 5'4\"/>

Outdoor Lighting Code

- KITCHEN 10\"/>

Lumen Capacity Calculations

PER TABLE B1 OUTDOOR LIGHTING CODE

- 1) PROJECT IS LOCATED IN LIGHTING AREA: E3
- 2) TOTAL DEVELOPED AREA: 0.24 ACRES
- 3) ALLOWABLE TOTAL LUMENS: 32,000 x 0.24 = 13,200 LUMENS
- 4) ALLOWABLE UNSHIELDED LUMENS: 13,200 x 0.24 = 2,640 LUMENS

- FIGURE A: 2 x 435 LUMENS EACH = 870 LUMENS
- FIGURE B: 4 x 610 LUMENS EACH = 2,440 LUMENS

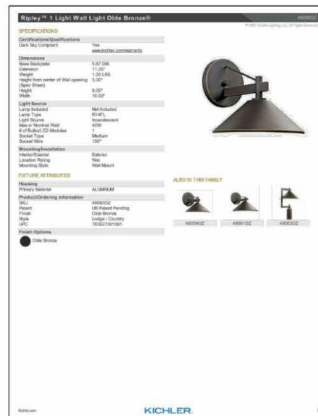
TOTAL: 3290 LUMENS

LEGEND:

- SINGLE POLE SWITCH
- 3-WAY SWITCH
- 4-WAY SWITCH
- DUPLEX RECEPTACLE
- 1/2-SWITCHED RECEPTACLE
- 220V RECEPTACLE
- CEILING LIGHT
- WALL LIGHT
- RECESSED EYEBALL SPOT
- DOUBLE FLOODLIGHT
- PUSH BUTTON
- 6\"/>

LED SHOP LIGHT

CEILING FAN



COMPLIANCE FOR ALL NEW LIGHTING EQUIPMENT PER 2018 IRC SECTION N1041 (MIN. 90% OF LAMPS)

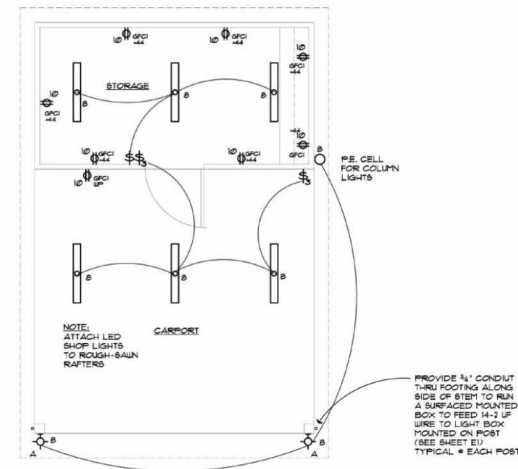
LED SHOP LIGHTS: TOTAL OF 6

EXTENSION LED LIGHT: TOTAL OF 2

TOTAL HIGH-EFF LAMPS: 8

TOTAL NEW LIGHTING: 8

8 HIGH-EFF OR 100%



ELECTRICAL PLAN

SCALE: 1/4\"/>

NOTE:
TIE ALL NEW ELECTRICAL INTO
EXISTING SUB PANEL - SEE LOCATION
ON SHEET A1



REVISIONS	BY
1. G.O.L. 8/15/2022	NT
2. PHOTOS 12/1/2023	
3. G.O.L. 5/12/2023	NT

interior
trends
Remodel & Design

WHITE-TREADWAY CARPORT

32 WEST SHIMSON AVE
TUCSON, ARIZONA 85701
TAX CODE: IT-14-1844

ELECTRICAL PLAN

DATE: 9/21/2022

SCALE: AS NOTED

DRAWN: NT

JOB: 2020-179

SHEET

E-1

APPENDIX E: HPZ APPROVAL LETTER FOR GATE ACROSS STREET

[See next page.]



CITY OF
TUCSON

Historic
Preservation
Office (HPO)

Planning &
Development
Services

September 30, 2020

Bob Lanning
Lanning Architecture
1202 E Broadway Blvd, Suite 104
Tucson, AZ 85719

[*REVISED]

***Subject: HPZ- 20-034, 331,337,343, 345 and 349 S Convent Avenue, and 85, 89, and 91 W Simpson Street
Barrio Historico Historic Preservation Zone, Contributing Resource
Converting existing 4 historic buildings into 12 apartments. Repair or replace the exterior materials of the building**

Dear Mr. Lanning:

The proposed rehabilitation and exterior repairs or replacement of exterior materials was reviewed by the Barrio Historico Historic Zone Advisory Board (BHHZAB) on June 8, 2020 [continued] and July 13, 2020. The Tucson-Pima County Historical Commission, Plans Review Subcommittee (TPCHC, PRS) conducted their review on August 13, 2020. Both the Advisory Board and the Subcommittee made recommendations to the Planning and Development Services Department Director.

Pursuant to provisions of Section 5.8 of the City of Tucson Unified Development Code and the Secretary of Interior's Standards, the application has been:

APPROVED as to be shown on the revised plans and drawings to be submitted to staff for compliance verification and subject to the following conditions:

- 1) That, beadboard or stucco shall be allowed as replacement materials on the east façade stucco and shall be key noted on revised submitted plans;
- 2) That, the site plan shall be revised to show the outbuilding on the site that is not part of the review and shall be key noted on the submitted plans;
- 3) That, any proposed rehabilitation and/ or demolition of the outbuilding shall be subject to appropriate review process as specified in the UDC;
- 4) That the control joint indicated on Convent Avenue façade shall be removed;
- 5) That, the gate between 75 and 85 W Simpson shall be a rusted steel gate, salvaged from the site and re-configured to fit the dimensions of the opening;
- 6) *That, the rear of the house shall be sheathed with either stucco or beadboard;
- 7) *That, the west facades are approved as proposed with new exterior doors and windows matching the [1972] historic Simpson Street elevations;
- 8) That, quoin detail shall not be foam and applicant shall explore the existing stucco to determine appropriate action on quoin detail;
- 9) That, sensitivity to treatment of any adobe section of the building shall be consistent with the principles in the *National Park Service Technical Preservation Brief, Number 5: Preservation of Historic Adobe Buildings* and detail on how the original adobe is being treated and preserved shall be noted on the plan;
- 10) That, signage shall be reviewed by Sign Section and the Historic Preservation Office for a determination of appropriateness;

201 North Stone Avenue • P.O. Box 27210 • Tucson, AZ 85726-7210

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- 11) That, with all materials shall be key noted on submitted plans;
- 12) That, revised submitted plan (existing and recommended per review) shall be reviewed by staff prior to final stamp approval;
- 13) Provide one (1) copy of working drawings to the Historic Preservation Office at the time of permit sign-off, and
- 14) Obtain the appropriate permits within one (1) year of the Director's decision.

The decision of the Planning & Development Services Department (PDSD) Director may be appealed by a party of record to the Mayor and Council by filing the appeal with the City Clerk's Office within **Fourteen (14) days** of the effective date of the decision (the date of this decision letter) and paying the appeal fee at the PDSD on the same day the appeal is filed. Complete appeal materials must be filed with the City Clerk within thirty (30) days of the effective date of the decision. No building permit will be issued prior to the expiration of the appeal period on **October 14, 2020**. The issuance of a building permit by Planning & Development Services will be based on compliance with all applicable Zoning, Building Code, and Fire Code requirements.

Changes to the approved plans may require additional Historic Preservation Zone Development review. Contact Michael Taku at 837-4963 to determine the extent of review needed for changes

Sincerely,

E-SIGNED by Robert Clark
on 2020-10-06 00:32:09 GMT

Scott Clark
PDSD Director

SC: MT/ HPZ 20-034

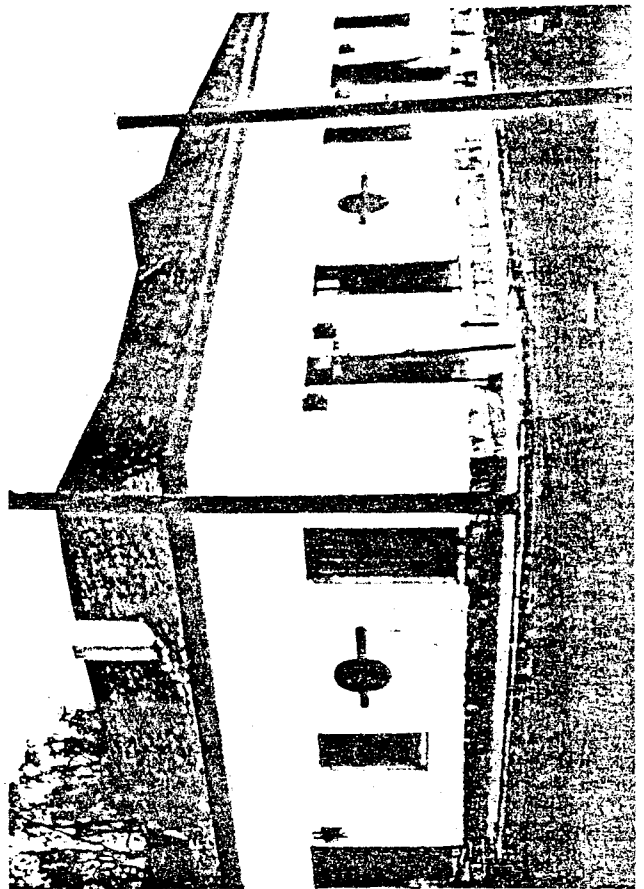
c: Teresita Majewski, Tucson-Pima County Historical Commission, Chair
Karen Costello, Barrio Historico Historic Zone Advisory Board, Chair

APPENDIX F: ARIZONA HISTORIC PROPERTY INVENTORY FORM

[See next page.]

ARIZONA STATE HISTORIC PROPERTY INVENTORY

PROPERTY NAME	
LOCATION 92 West Simpson Street	
CITY/TOWN/VICINITY Tucson	COUNTY Pima
OWNER Matison, James J & Nancy J.	
OWNER'S ADDRESS 92 W. Simpson St. Tucson, Az. 85701	
FORM COMPLETED BY Tim Fisher, Dale Frens, Janet Stewart	
ADDRESS	
PHOTO BY Tim Fisher	DATE July 1977
VIEW Looking SE	
PRESENT USE Office	ACREAGE
STYLE OR CULTURAL PERIOD Transformed Sonoran	
SIGNIFICANT DATES Pre-1883	



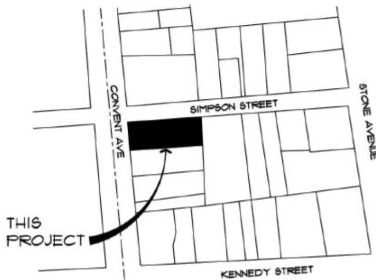
PHYSICAL DESCRIPTION
Single story row house built on property lines of corner lot; stuccoed adobe construction; hipped roof added over original flat roof and parapet walls; recently rehabilitated for adaptive use as a real estate office; lamps and concrete block window trim inappropriate.
STATEMENT OF SIGNIFICANCE
Very good example of Transformed Sonoran row house.
VERBAL BOUNDARY DESCRIPTION
Tucson W86.7' of Lot 4 Block 237.

APPENDIX G: PROJECT SITE PLAN

[See next page.]

SITE PLAN NOTES:
• PROVIDE ADDRESS • NEW RESIDENCE W/ NUMBERS THAT ARE VISIBLE AND LEGIBLE FROM STREET PER 2018 IRC SECTION R319
CODES & CODE EDITIONS BEING USED FOR THIS PROJECT ARE AS FOLLOWS:
2018 INTERNATIONAL RESIDENTIAL CODE

ZONING:
HO-3

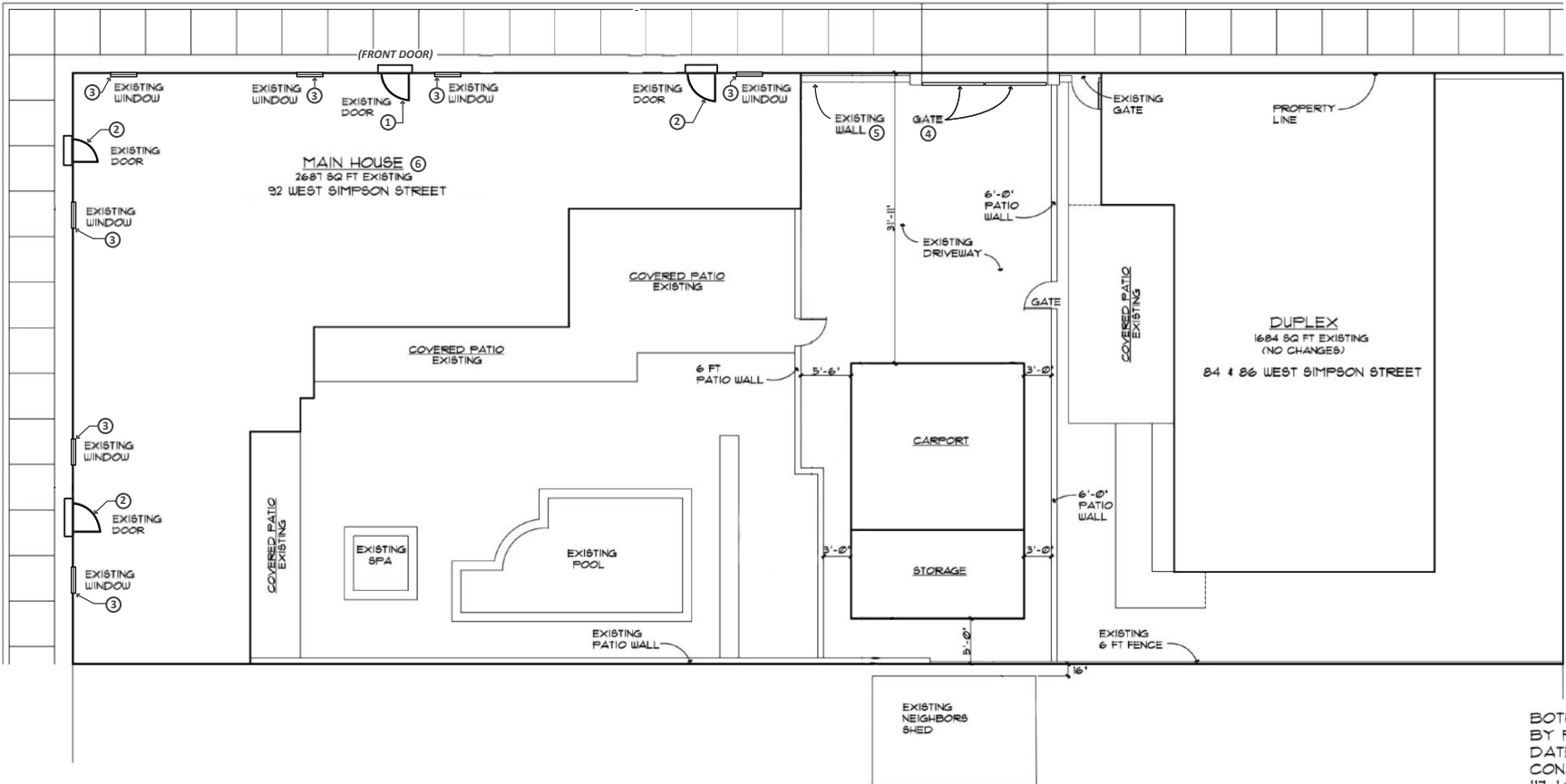


LOCATION MAP
N.T.S.
North

SIMPSON STREET

ZONING:
HO-3

CONVENT AVE



- KEY:**
- ① EXISTING FRONT DOOR TO REMAIN.
 - ② EXISTING DOOR TO BE REPLACED.
 - ③ EXISTING WINDOWS TO REMAIN; INDIVIDUAL GLASS PANE TO BE RESTORED AS NEEDED.
 - ④ EXISTING GATE TO REMAIN, EXTERIOR DESIGN TO BE MODIFIED PER HPZ DESIGN PACKAGE.
 - ⑤ EXISTING WALLS & PILARS TO REMAIN.
 - ⑥ ROOF REPLACED.

ZONING:
HO-3

LOT COVERAGE CALCS:

EXISTING DWELLING: 2687 SQ FT
EXISTING DUPLEX: 1684 SQ FT
TOTAL UNDER ROOF: 4371 SQ FT
EXIST. DRIVEWAY/VEHICULAR USE AREA: 691 SQ FT
NEW CARPORT: 532 SQ FT
TOTAL LOT COVERAGE: 5594 SQ FT
AREA OF LOT: 10346 SQ FT
TOTAL LOT COVERAGE: 53%
10% ALLOWABLE

ZONING:
HO-3



SITE PLAN

SCALE: 1/8"=1'-0"
TUCSON W86.1' OF LOT 4 BLOCK 231
HISTORIC PROPERTY
BOOK 3 AT PAGE 10
ZONING: HO-3

BOTH LOTS COMBINED
BY PIMA COUNTY ASSESOR
DATED JULY 28, 2022
CONSOLIDATION OF PARCELS:
117-14-1840 AND 117-14-1830
NEW PARCEL #117-14-184A

WHITE-TREADWAY

92 WEST SIMPSON AVE
TUCSON, ARIZONA 85710
TAX CODE: 117-14-184A

SITE PLAN

DATE: 8/5/25
SCALE:
DRAWN: JC (L&S)
JOB:
SHEET

