



WAREHOUSE BUILDING
7,745 SF

TOWER BUILDING
17,532 SF, 4 STORIES

DECO BUILDING
10,932 SF



VIEW FROM E. 6TH ST. LOOKING SOUTHEAST

PROJECT DESCRIPTION

Benjamin Supply Redevelopment | 440 N. 7th Avenue

Project Description

The Benjamin Supply project is an adaptive reuse and revitalization of a historic three-building commercial complex in Downtown Tucson, consisting of the Deco showroom building, the four-story concrete tower, and the adjacent warehouse structure. Benjamin Supply has long occupied the Deco building as its primary showroom. This project expands showroom functions into the historic tower, activating all four levels while preserving its defining concrete structural grid and interior mushroom columns. The deteriorated non-structural infill panels at the tower will be replaced with a high-performance wall system that maintains the original structural rhythm while clearly distinguishing new materials from historic construction. The warehouse building will be rehabilitated through removal of non-historic 1990s façade alterations, restoring the original brick exterior and divided-light windows. The space will be leased to complementary design-oriented businesses, creating a cohesive design center environment that supports Downtown commercial vitality. No additional square footage, height, or building footprint is proposed. Improvements include façade repair and restoration, parking lot reconfiguration to current standards, enhanced pedestrian circulation, added landscaping and shade, and upgraded lighting. The project emphasizes preservation, safety, long-term sustainability, and activation of underutilized historic space. The redevelopment honors the historic character of the property while positioning it for continued economic and community relevance in Downtown Tucson.

RNA DESIGN COMPLIANCE NARRATIVE

1. SCALE AND DEVELOPMENT TRANSITION

RNA Standard:

Proposed development shall respect the scale of adjacent properties and provide an orderly transition to differing scales.

Project Response:

No increase in building height, massing, or footprint is proposed. The Deco building, tower, and warehouse structures remain at their existing heights and volumes. The project preserves the established urban form and respects the scale of surrounding Downtown development.

The four-story tower, while being adaptively reused, retains its original structural frame and massing. No vertical or horizontal expansion is proposed. As such, the project maintains consistency with the established development pattern and does not introduce new scale impacts.

2. SETBACKS

RNA Standard:

New construction must be consistent with prevailing setbacks.

Project Response:

No changes to existing setbacks are proposed. All buildings remain in their current footprint and maintain established street edges. The historic relationship of the buildings to the public sidewalk is preserved.

3. SCALE-DEFINING ARCHITECTURAL ELEMENTS

RNA Standard:

New construction shall provide scale-defining architectural elements at the first two floor levels.

Project Response:

Although no new construction is proposed, the project enhances architectural definition at the pedestrian level by:

- Restoring façade elements on the Deco building
- Removing non-historic façade treatments on the warehouse to reveal original brick and divided-light windows
- Introducing glazing at the tower's northeast stair location to reveal interior mushroom columns
- These improvements reinforce architectural articulation and visual interest at the first two levels while preserving historic character.

RNA DESIGN COMPLIANCE NARRATIVE

4. GROUND FLOOR ACTIVATION

RNA Standard:

Commercial frontage shall provide increased floor-to-floor height and visible activity, with a minimum of 50% transparency at ground level.

Project Response:

The Deco building remains the primary public entry and showroom space. The tower's conversion to showroom use introduces active commercial use to all four levels.

The proposed glazing at the tower stair enhances visibility into the building. The ground level visibility is maintained.

The proposed warehouse remodel brings the building into compliance with more than 50% transparency at ground level.

5. FAÇADE ARTICULATION

RNA Standard:

A façade plane may not exceed 50 feet without articulation.

Project Response:

All buildings already contain architectural articulation through structural grids, brick detailing, window openings, and façade rhythms.

The tower's expressed concrete structural grid provides strong vertical and horizontal articulation. The removal of failing infill panels will retain this grid expression while inserting compatible contemporary materials.

The warehouse restoration reintroduces original brick detailing and divided-light windows, reinforcing façade rhythm.

6. PEDESTRIAN-SCALED LIGHTING

RNA Standard:

Façade design shall include pedestrian-scaled, glare-controlled exterior lighting.

Project Response:

Exterior lighting will be pedestrian-scaled, down-shielded, and glare-controlled. Existing lighting will be maintained at Deco building entry, Tower Entry and introduced at the new entries on the warehouse building.

The intent is to enhance safety and visibility while respecting Downtown's historic character.

RNA DESIGN COMPLIANCE NARRATIVE

7. VISIBLE AND HIGHLIGHTED ENTRANCES

RNA Standard:

Front doors shall be visible from the street and visually highlighted.

Project Response:

The Deco building continues to function as the primary public entrance and remains directly visible from the public sidewalk.

Enhanced lighting and improved pedestrian circulation will reinforce entry visibility. No entrances are relocated away from the street frontage.

8. HISTORIC CONTEXT

RNA Standard:

Exterior modifications shall complement the historic context and respect architectural integrity.

Project Response:

The project emphasizes preservation and restoration:

- Repairing and repainting the Deco façade
- Removing non-historic warehouse façade elements
- Retaining the tower's structural frame

New tower infill panels are clearly differentiated yet compatible in scale and proportion. No conjectural historic elements are introduced.

9. HEAT AND GLARE MITIGATION

RNA Standard:

Development shall shield adjacent properties and public areas from reflected heat and glare.

Project Response:

The proposed tower infill materials are matte-finish metal cladding designed to minimize glare. Glazing will be high-performance, low-reflectivity glass. Landscaping additions will further reduce heat island effects.

RNA DESIGN COMPLIANCE NARRATIVE

10. PARKING DESIGN

RNA Standard:

Safe and adequate vehicular parking areas designed to minimize pedestrian conflicts shall be provided.

Project Response:

The existing deteriorated parking lot will be formalized and upgraded to current standards. Improvements include:

- Clearly defined parking stalls
- Landscaped islands
- Improved pedestrian pathways
- Enhanced circulation patterns

These upgrades reduce conflicts between vehicles and pedestrians and improve overall safety.

11. SHADE FOR PEDESTRIANS

RNA Standard:

Adequate shade shall be provided for sidewalks and pedestrian pathways.

Project Response:

The project introduces additional landscaping and shade trees along pedestrian pathways and within the parking lot. These improvements enhance comfort and reinforce Downtown's walkable environment.

12. COLOR PALETTE

RNA Standard:

Colors may conform to Downtown context or be used expressively with rationale.

Project Response:

The Deco building will be repainted in a color palette consistent with its historic character and the Downtown context.

The tower's contemporary infill will use restrained, compatible materials that contrast subtly with the original concrete frame, clearly distinguishing new from historic without introducing discordant colors.

RNA DESIGN COMPLIANCE NARRATIVE

13. MATERIALS

RNA Standard:

New development shall use materials that relate to the traditional Downtown context.

Project Response:

Materials include:

- Repaired stucco
- Original brick restoration
- Preserved concrete structural frame
- Contemporary metal infill panels that respect existing grid proportions

The project balances traditional materials with compatible contemporary elements.

14. 24-HOUR ACTIVITY / MIXED USE

RNA Standard:

A mixture of retail, office, and residential uses is encouraged.

Project Response:

The project expands commercial activity by:

- Activating all four floors of the tower
- Introducing complementary design-oriented tenants in the warehouse
- Maintaining active showroom use in the Deco building

While residential use is not proposed, the project increases daytime and early evening commercial activity and strengthens Downtown's economic vitality.

RNA DESIGN COMPLIANCE NARRATIVE

15. PRIMARY ENTRIES FROM SIDEWALK

RNA Standard:

Primary public entries shall be accessed directly from a sidewalk.

Project Response:

The primary public entrance remains directly accessed from the public sidewalk along the street frontage. Pedestrian entry to the Deco building shall be encouraged by extending the entry to the sidewalk.

Pedestrian circulation improvements further strengthen the connection between public sidewalk and interior commercial space.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

STANDARD 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Project Response:

The project maintains the commercial character of the Benjamin Supply complex. The Deco building continues to serve as the primary showroom and public entry. The four-story tower, historically used for storage, is being adaptively reused as showroom space, a compatible commercial function that does not require alteration of the building's structural framework, massing, or site configuration. No additions are proposed, and no changes to building footprint or height occur. The new use activates the structure while preserving its defining architectural characteristics and its role within the Downtown historic context.

STANDARD 2

The historic character of a property shall be retained and preserved.

Project Response:

The defining characteristics of the complex — including the Art Deco façade of the showroom building, the concrete structural grid and mushroom columns of the tower, and the original brick massing of the warehouse — are being retained and preserved.

The Deco building façade will undergo limited repair of deteriorated window moldings and localized stucco repair, followed by repainting consistent with its historic character.

The tower's primary character-defining feature — its expressed concrete structural grid — remains intact. The removal of failing ceramic block infill panels is necessary for safety and stabilization; however, the structural frame that defines the tower's historic identity remains unchanged.

The warehouse building will have non-historic 1990s stucco ornamentation removed to restore the original brick façade and divided-light window configuration, thereby strengthening the historic character of the property.

STANDARD 3

Changes that create a false sense of historical development shall not be undertaken.

Project Response:

The project does not introduce conjectural historic elements or replicate architectural features from other structures. New infill panels at the tower will be differentiated from the historic structure through contemporary metal cladding while maintaining the original structural grid expression.

The intent is not to recreate the historic ceramic block infill, but to clearly distinguish new from original construction in a manner consistent with preservation best practices.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

STANDARD 4

Changes that have acquired historic significance shall be retained and preserved.

Project Response:

There is no evidence that the 1990s façade modifications to the warehouse have acquired historic significance. Their removal restores the building closer to its earlier historic appearance and reinforces the district's architectural integrity. All original structural elements across the complex are retained.

STANDARD 5

Distinctive features, finishes, and construction techniques shall be preserved.

Project Response:

The project preserves:

- The concrete structural grid of the tower
- Interior concrete mushroom columns
- The Deco building's façade detailing
- The warehouse's original brick construction

The tower's interior mushroom columns will become more visible through proposed glazing at the northeast stair location, highlighting original construction techniques rather than obscuring them.

STANDARD 6

Deteriorated historic features shall be repaired rather than replaced where possible.

Project Response:

Where feasible, original materials are repaired in place. Deteriorated stucco and window moldings on the Deco building will be repaired rather than replaced wholesale.

The ceramic block infill at the tower has deteriorated beyond repair and presents safety concerns. Replacement is limited to the non-structural infill panels, while the historic concrete structural frame remains preserved. The new infill respects the original bay rhythm and proportions.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

STANDARD 7

Chemical or physical treatments that cause damage shall not be used.

Project Response:

Cleaning and repair of historic materials will utilize the gentlest means possible. No abrasive sandblasting or destructive cleaning methods are proposed.

STANDARD 8

Significant archeological resources shall be protected and preserved.

Project Response:

The project involves no excavation beyond surface parking improvements. Should any archeological resources be encountered during site work, appropriate mitigation measures will be undertaken in accordance with applicable regulations.

STANDARD 9

New additions or exterior alterations shall not destroy historic materials and shall be differentiated yet compatible.

Project Response:

No additions are proposed. Exterior alterations are limited to:

- Replacement of failing tower infill panels
- Introduction of glazing at the northeast stair location
- Removal of non-historic warehouse façade treatments

The new tower infill panels are clearly differentiated from the original concrete frame while maintaining the historic massing, scale, and structural rhythm.

The glazing at the stair is inserted within the existing structural opening and does not alter the concrete frame. It enhances transparency and allows the historic mushroom columns to be visible from the public realm.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

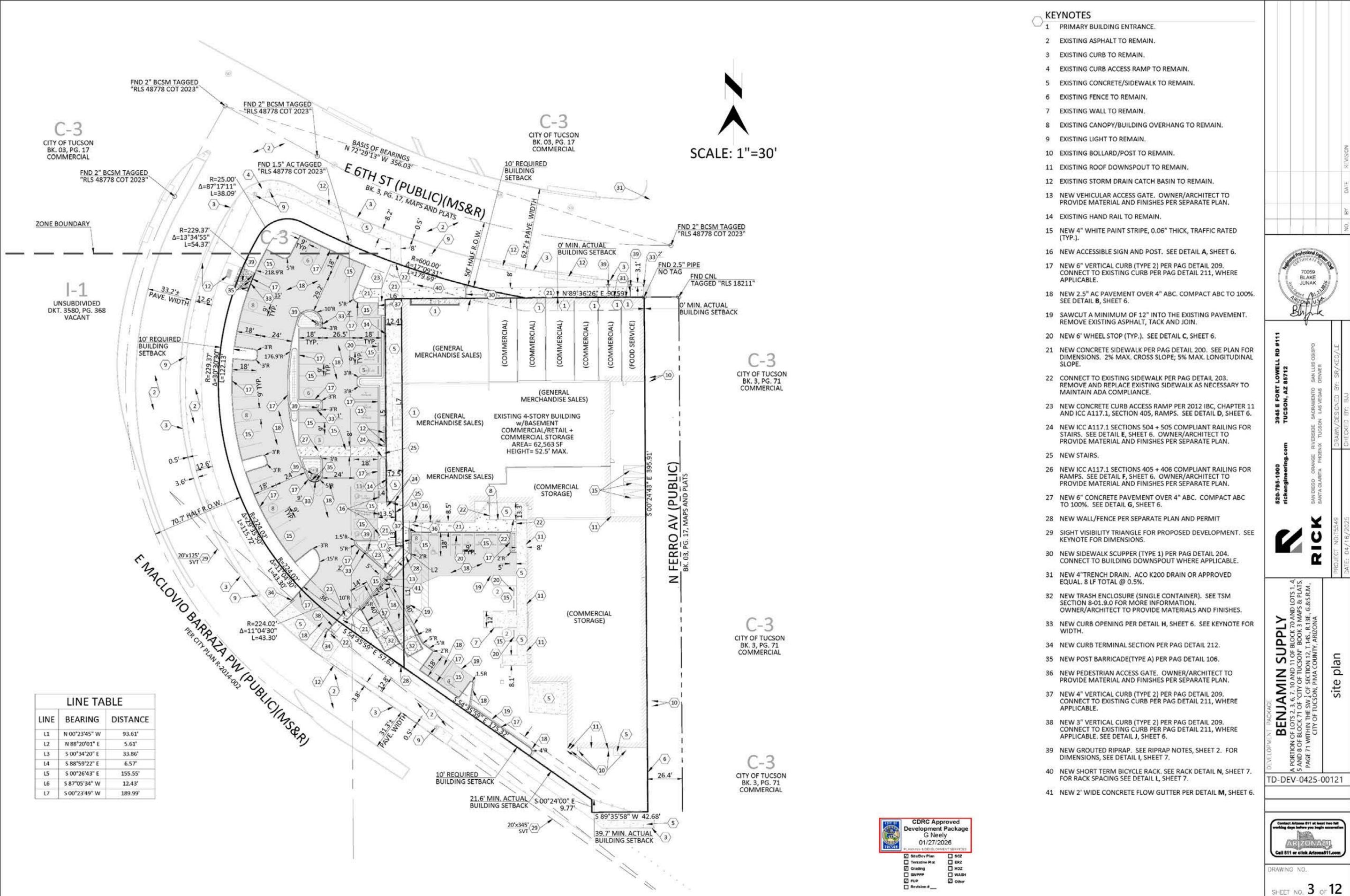
STANDARD 10

New work shall be reversible so that removal would not impair the historic property.

Project Response:

The proposed tower infill system is non-structural and attached within the existing concrete grid. If removed in the future, the essential structural form and integrity of the tower would remain intact.

Similarly, the glazing introduced at the stair occupies an existing opening and does not alter the structural framework, allowing future modification without damage to historic materials.



SCALE: 1"=30'

- KEYNOTES**
- 1 PRIMARY BUILDING ENTRANCE.
 - 2 EXISTING ASPHALT TO REMAIN.
 - 3 EXISTING CURB TO REMAIN.
 - 4 EXISTING CURB ACCESS RAMP TO REMAIN.
 - 5 EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - 6 EXISTING FENCE TO REMAIN.
 - 7 EXISTING WALL TO REMAIN.
 - 8 EXISTING CANOPY/BUILDING OVERHANG TO REMAIN.
 - 9 EXISTING LIGHT TO REMAIN.
 - 10 EXISTING BOLLARD/POST TO REMAIN.
 - 11 EXISTING ROOF DOWNSPOUT TO REMAIN.
 - 12 EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
 - 13 NEW VEHICULAR ACCESS GATE. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 14 EXISTING HAND RAIL TO REMAIN.
 - 15 NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - 16 NEW ACCESSIBLE SIGN AND POST. SEE DETAIL A, SHEET 6.
 - 17 NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 18 NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 6.
 - 19 SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - 20 NEW 6" WHEEL STOP (TYP.). SEE DETAIL C, SHEET 6.
 - 21 NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS. 2% MAX. CROSS SLOPE; 5% MAX. LONGITUDINAL SLOPE.
 - 22 CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203. REMOVE AND REPLACE EXISTING SIDEWALK AS NECESSARY TO MAINTAIN ADA COMPLIANCE.
 - 23 NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL D, SHEET 6.
 - 24 NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL E, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 25 NEW STAIRS.
 - 26 NEW ICC A117.1 SECTIONS 405 + 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL F, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 27 NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL G, SHEET 6.
 - 28 NEW WALL/FENCE PER SEPARATE PLAN AND PERMIT
 - 29 SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - 30 NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. CONNECT TO BUILDING DOWNSPOUT WHERE APPLICABLE.
 - 31 NEW 4" TRENCH DRAIN. ACO K200 DRAIN OR APPROVED EQUAL. 8 LF TOTAL @ 0.5%.
 - 32 NEW TRASH ENCLOSURE (SINGLE CONTAINER). SEE TSM SECTION 8-01.9.0 FOR MORE INFORMATION. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
 - 33 NEW CURB OPENING PER DETAIL H, SHEET 6. SEE KEYNOTE FOR WIDTH.
 - 34 NEW CURB TERMINAL SECTION PER PAG DETAIL 212.
 - 35 NEW POST BARRICADE (TYPE A) PER PAG DETAIL 106.
 - 36 NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - 37 NEW 4" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - 38 NEW 3" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE. SEE DETAIL J, SHEET 6.
 - 39 NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL I, SHEET 7.
 - 40 NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL N, SHEET 7. FOR RACK SPACING SEE DETAIL L, SHEET 7.
 - 41 NEW 2" WIDE CONCRETE FLOW GUTTER PER DETAIL M, SHEET 6.

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°23'45" W	93.61'
L2	N 88°20'01" E	5.61'
L3	S 00°34'20" E	33.86'
L4	S 88°59'22" E	6.57'
L5	S 00°26'43" E	155.55'
L6	S 87°05'34" W	12.43'
L7	S 00°23'49" W	189.99'

CDRC Approved
Development Package
G Neely
01/27/2026
PLANNING & DEVELOPMENT SERVICES

<input type="checkbox"/> SiteDev Plan	<input type="checkbox"/> GC2
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> ERZ
<input type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
<input type="checkbox"/> Revision #	

NO.	BY	DATE	REVISION

Professional Engineer
70059
BLAKE
JUNAK
ARIZONA
01/27/2026

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RICK
SAN DIEGO, ORANGE, RIVERSIDE, SACRAMENTO, SAN LUIS OBISPO, SANTA CLARITA, PHOENIX, TUCSON, LAS VEGAS, DENVER

PROJECT: NR15548
DATE: 04/18/2025
DRAWN/DESIGNED BY: SR/ACD/AE
CHECKED BY: BUJ

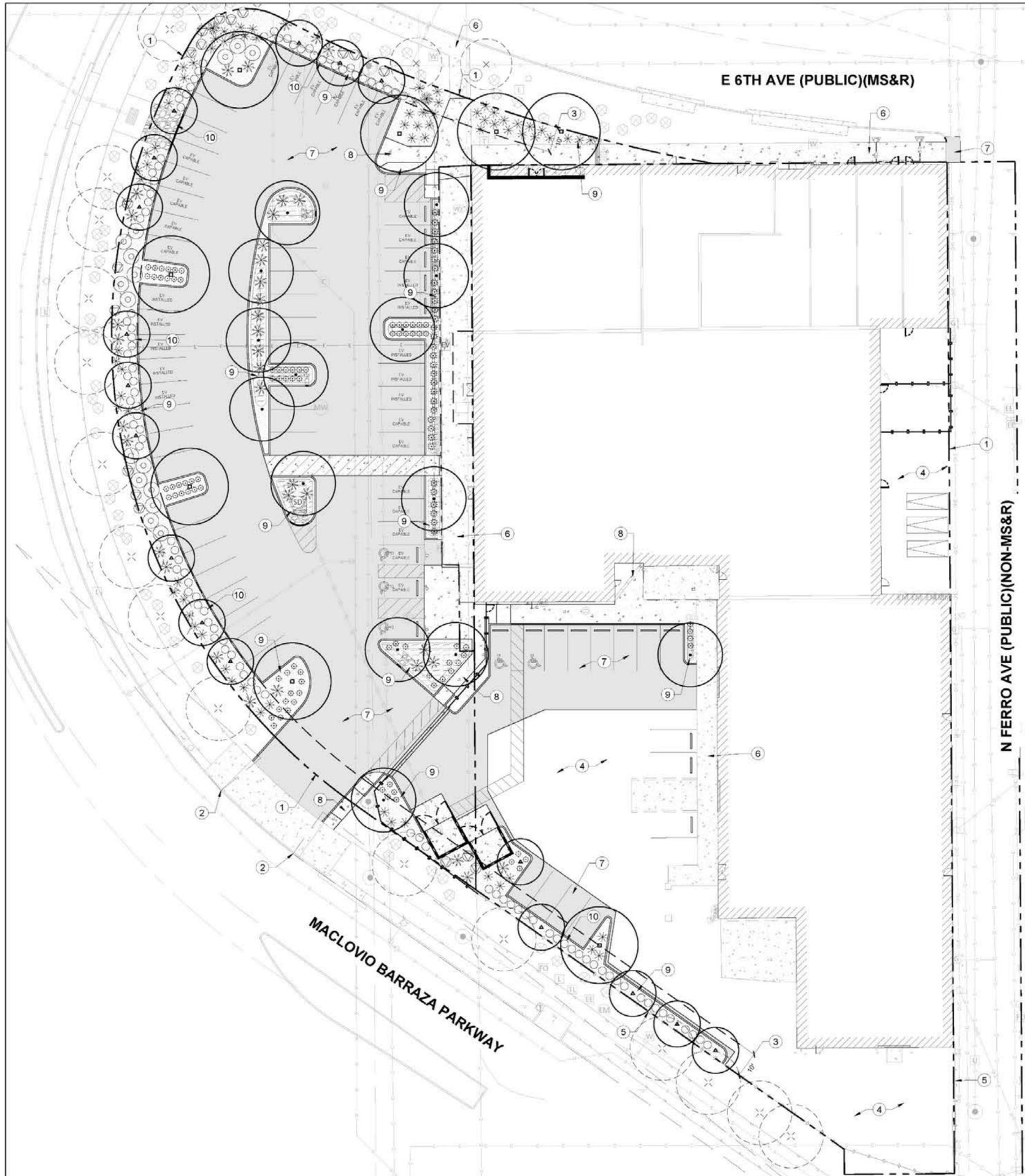
BENJAMIN SUPPLY
A PORTION OF LOTS 2, 3, 6, 7, 10 AND 11 OF BLOCK 70 AND LOTS 1, 4, 5 AND 8 OF BLOCK 71 OF "CITY OF TUCSON" BOOK 3 MAPS & PLATS, PAGE 71 WITHIN THE SW 1/4 OF SECTION 12, T.14S., R.13E., G.B.S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA

TD-DEV-0425-00121

ARIZONA
Call 811 or click Artzma811.com

DRAWING NO.

SHEET **3** OF **12**



E 6TH AVE (PUBLIC)(MS&R)

N FERRO AVE (PUBLIC)(NON-MS&R)

MACLOVIO BARRAZA PARKWAY

LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees

Species	Size	Qty
Chilopsis linearis 'Bubba' semi-seedless desert willow	25 gallon	17
Quercus fusiformis 'Joan Lionetti' live oak	65 gallon	14
Pistacia x 'Red Push' red push pistache	25 gallon	8

Existing tree to remain in place

Shrubs / Ground Covers

Species	Size	Qty
Simmondsia chinensis jojoba	5 gallon	16
Leucophyllum 'microburst' microburst texas sage	5 gallon	105
Calliandra 'mexicali rose' mexicali rose fairy duster	5 gallon	18

Cacti / Succulents

Species	Size	Qty
Hesperaloe parviflora 'stoplights' stoplights dwarf hesperaloe	5 gallon	86
Yucca rostrata beaked yucca	15 gallon	2
Dasyliion wheeleri desert spoon	5 gallon	37
Euphorbia antisyphilitica candleilla	5 gallon	32
Hesperaloe 'little giant' little giant hesperaloe	5 gallon	75

Existing shrub/accnet to remain in place, typ.



LANDSCAPE LEGEND NOTES:

- Contractor must confirm ability to provide specified material or request alternates in writing within 90 days of commencement of contract. Failure to do so may result in delays in final approval of landscape.
- Contractor must provide pictures of plant material to the Landscape Architect for approval as part of the submittal process. Pictures must have been taken within the last

GROUND COVER MATERIAL LEGEND

Furnish and install all material per plans, details, and specs.

type: screened rock	size: 3/8"	color: santa fe gold	depth: 2"	notes: install in all landscape planting areas as indicated on plans
type: rip rap	size: 4 - 8"	color: coronado brown	depth: 8"	notes: refer to civil paving plans, details and specifications

LANDSCAPE KEY NOTES

- Property line
- Sight visibility triangle
- Street landscape border
- Existing pavement
- Existing fence/wall
- Existing sidewalk
- Pavement - refer to civil
- Concrete sidewalk - refer to civil
- Decorative rock typ. - all landscape areas
- 30" vegetative screen

LANDSCAPE BORDER REQUIREMENTS

E 6th Ave (Major Street)
 10' street border @ 127' (1,270 sf)
 vegetative ground cover required 607 sf
 vegetative ground cover provided 650 sf
 trees required 4
 trees provided 4
 30" vegetative screen

E 6th Ave
 existing building on property line @ 162'
 no landscape border required

Maclovio Barraza Parkway (Major Street)
 10' street border @ 495' (4,950 sf)
 vegetative ground cover required 4,950 sf
 vegetative ground cover provided 2,475 sf
 trees required 15
 trees provided 15
 30" vegetative screen

Maclovio Barraza Parkway (Major Street)
 existing conditions @ 105'
 no landscape border required

East - none alley with zero lot line
 no landscape border required

PARKING TREE REQUIREMENTS

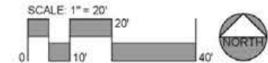
Parking spaces provided 67
 Trees required 17
 Trees provided 17+

LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE

- Site shall be maintained weekly to remove litter and debris.
- Review landscape plant materials to ensure and maintain proper growth, development and maturity to promote sustainable sites.
- Review tree staking: adjust stakes, tree ties and supports, so that tree trunks develop and strengthen to become self-supportive.
- Allow natural tree development and minimize tree pruning over first 24 months. Allow gradual lifting of canopy, not exceeding 1/3 to 2/3 canopy height ratio.
- No shearing on vegetation shall occur on site.**
- Program irrigation water schedules for establishment with initial weekly watering. After establishment adjusts to longer run times and duration between watering with seasonal conditions to develop deep root and sustainable periods of drought.
- Set water schedules to evapotranspiration (ET) historical databases allowing for auto control and adjustment with seasons.



- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> WCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> ERZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HAZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> PUP | <input type="checkbox"/> Other |
| <input type="checkbox"/> Revision # | |



Refer to specifications for additional information on policies, performances, and products.

NO.	BY	DATE	REVISION



ARC STUDIOS
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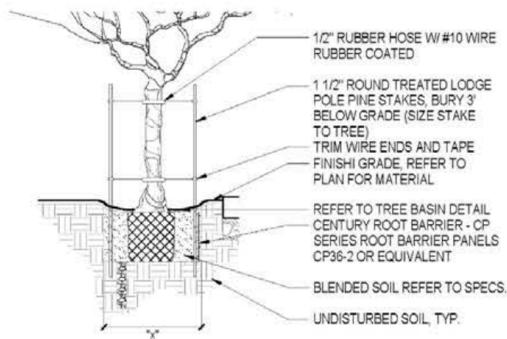
landscape architecture urban design
 environmental services irrigation design

PROJECT NO: 01-24149
 DATE: 04/14/2025
 DRAWN/DESIGNED BY: ARC
 CHECKED BY: ARC

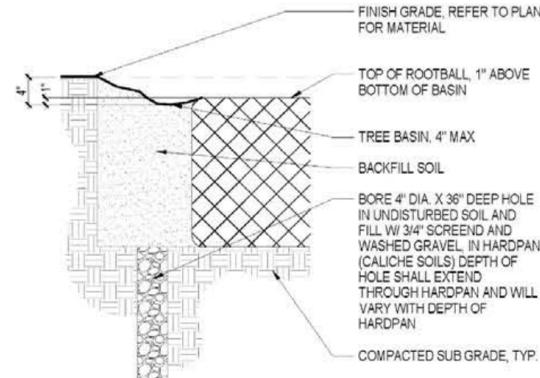
BENJAMIN SUPPLY

LANDSCAPE PLAN

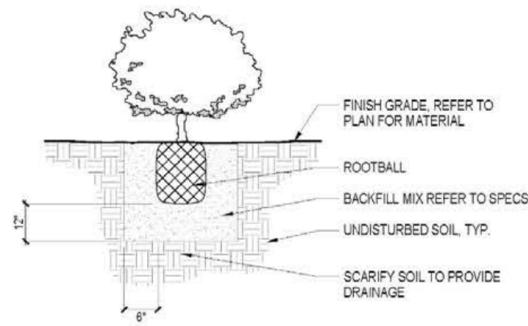




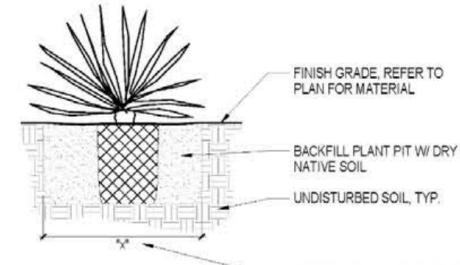
- NOTES:**
- DIMENSION "X" EQUALS TWO (2) TIMES THE BOX WIDTH, DEPTH OF PIT WILL EQUAL DEPTH OF ROOTBALL.
 - SCARIFY SIDES & BOTTOM OF PIT, & BORE HOLES ON ALL PITS.
 - SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT.
 - DO NOT COVER CROWN WITH SOIL.
 - ROOT GUARDS SHALL BE PROVIDED ON ALL SIDES WHERE ADJACENT HARDSCAPE IS WITHIN 10' OF THE TREE/PLANT.
 - REFER TO TREE STAKING DETAIL FOR ADDITIONAL INFORMATION.



- NOTES:**
- TREE BASINS NOT TO EXCEED 4' DEPTH.
 - TOP OF ROOTBALL TO BE EXPOSED TO SURFACE.
 - BOTTOM OF PLANT PIT EQUAL TO DEPTH OF ROOTBALL.

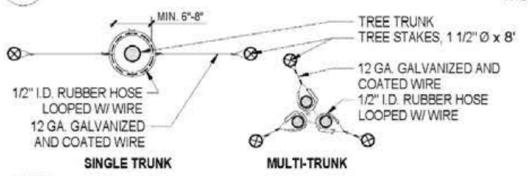


- NOTES:**
- SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT. DO NOT COVER CROWN WITH SOIL.
 - SETTLE BACKFILL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.



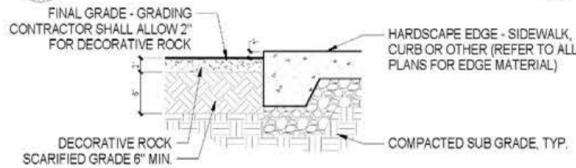
- NOTES:**
- SET CROWN OF ROOTBALL 1/2" TO 1" ABOVE FINISH GRADE TO ALLOW FOR SETTLEMENT. DO NOT COVER CROWN WITH SOIL.
 - SETTLE BACKFILL SOIL BY WATERING, AND COMPACT TO REMOVE AIR POCKETS.

1 15 GALLON & 24IN BOX - TREE PLANTING NTS



- NOTES:**
- TREES SHALL ONLY BE STAKED THAT ARE NOT SELF-SUPPORTIVE WITH NURSERY STAKE REMOVED. CONTRACTOR SHALL INCLUDE IN BIDDING TO STAKE ALL TREES AS NECESSARY THROUGH WARRANTY AND MAINTENANCE PERIOD.

5 TREE STAKING NTS

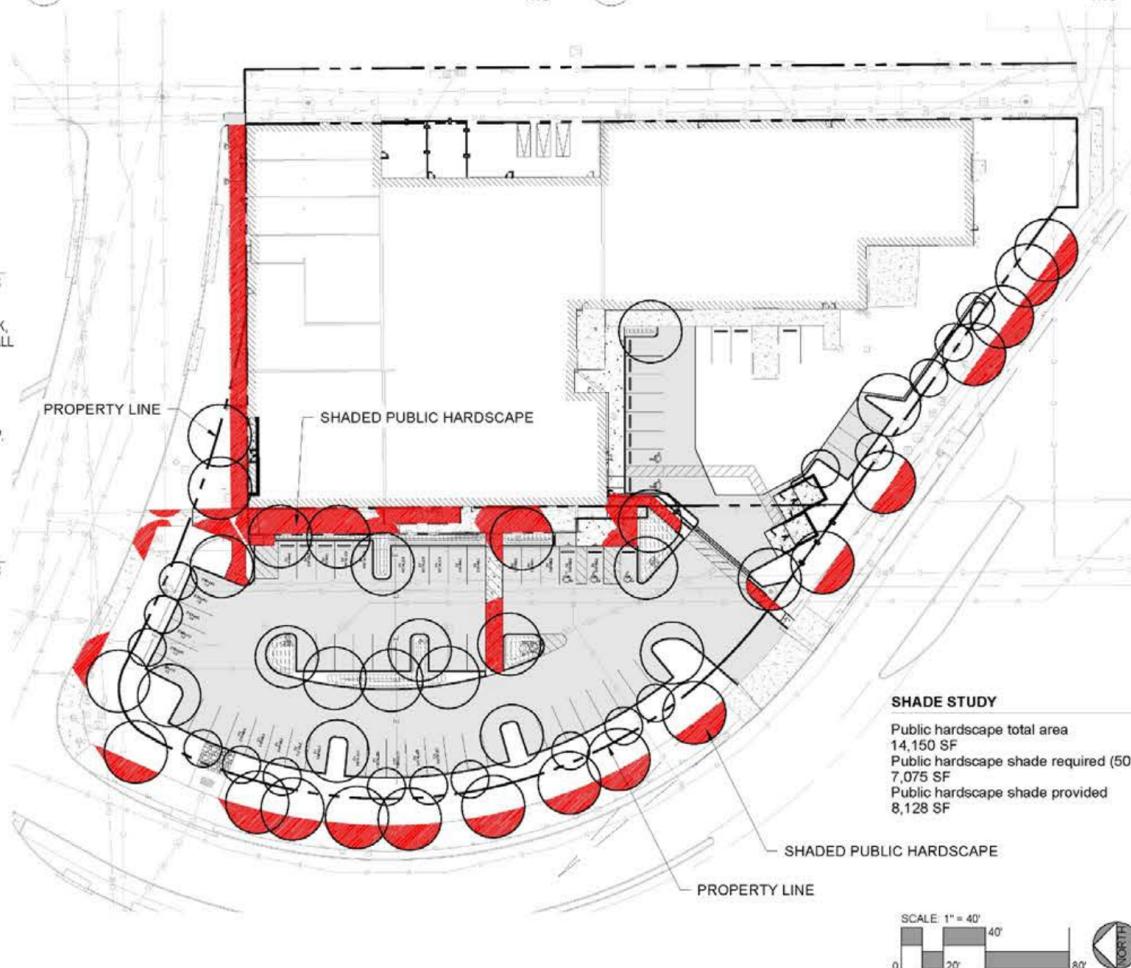


6 FINAL GRADE HARDSCAPE TO DEC. ROCK NTS

2 TREE BASIN NTS

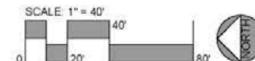
3 SHRUB PLANTING NTS

4 ACCENT PLANTING NTS



SHADE STUDY

Public hardscape total area
14,150 SF
Public hardscape shade required (50%)
7,075 SF
Public hardscape shade provided
8,128 SF



Scale: 1"=40'

7 SHADE STUDY

GENERAL LANDSCAPING NOTES

- The Landscape Architect, or his representative, reserve the right to refuse any plant materials he deems unacceptable. (see specifications)
- For clarification of discrepancies between the drawings and the site, it should be brought to the attention of the Landscape Architect prior to beginning work.
- The Landscape Architect is to approve any and all substitutions.
- Plant list quantities are provided for contractor's convenience only. Plans take precedence.
- Exposed soil in planters shall be raked and free from rocks, roots, weeds, etc.
- Finished grade in decorative rock areas shall be 1" below adjacent header board, paving, curbing, etc.
- Plants shall be quality material having a growth habit that is normal for the species and be sound, vigorous, healthy, and free from insects and injury.
- Ground cover and/or decorative rock shall extend under shrubs unless noted.
- After all work is completed, the contractor shall remove all materials not incorporated in the scope of work from the job site.
- Grading shall include all excavation, settlement, handling, import, distribution, transportation, and disposal necessary to bring ground to finish grade as shown on the civil and landscape plans.
- All earthwork is to be done so that all water drains away from all structures.
- All underground utilities are to be located before digging.
- All plant material to be guaranteed for a period of one (1) year after final acceptance.
- Landscape contractor shall review and accept all rough, and finish grading on all landscaped areas prior to installation of irrigation and landscape. Contractor shall remove all spoils prior to installation of decorative rock for finish grade.
- In the event of major discrepancies between the plans and field conditions, contractor shall notify the Landscape Architect immediately. Allow a minimum of forty-eight (48) hours between notification of Landscape Architect and proceeding with construction of irrigation system.
- All existing trees and landscape to remain shall be protected and watered during all phases of construction. If any tree dies from damage or neglect, it shall be replaced with a like species and size at no additional cost to owner.
- Test drainage of plant beds and pits by filling with water. Conditions permitting the retention of water in locations for more than twenty-four (24) hours shall be brought to the attention of the Landscape Architect prior to any planting.
- Contractor is responsible for providing sleeves to all landscape areas regardless whether they are shown on plans or not. Refer to sleeving schedule for size and quantity. If doubt or discrepancy exists request clarification from Landscape Architect in writing.
- Landscape areas shall be depressed 6 inches to maximize storm water harvesting in areas shown on landscape and/or grading plans. Water harvesting shall not occur within 10' of building foundation.
- Final plant locations must be in compliance with all utility setback requirements.
- Sleeve all pipes and wires under paved areas including streets and sidewalks.
- Irrigation lines are shown schematically, locate all line in unpaved areas.
- Locate all lines within the property line when possible.
- The general contractor (gc) takes full liability for this landscape and irrigation, and any damage to roadway, sidewalk and utilities.
- The landscape and irrigation shall be installed per the associated specifications.
- All site contouring and finish grading shall be completed and accepted by the landscape contractor and Landscape Architect prior to start of irrigation.
- Area square footages are for agency review and use only, not for contractor take-offs or quantity use.
- Materials and improvements placed and/or maintained within the sight visibility triangles shall be located so as not to interfere with a visibility plane described by an area measured between 30 and 72 inches in height above the finished grade of the adjacent roadway surface.
- It is the owners responsibility to keep the sight visibility triangles (svt), and the pedestrian access area clear of vegetation at all times, per unified development code (udc) section.
- The owner understands that if the City of Tucson transportation department or any utility company needs to work within the row in the landscaped area, plants and irrigation may be destroyed without replacement or repair.
- The only private irrigation equipment that is allowed within the row are lateral lines, tubing and emitters that are not under constant pressure. All other equipment must be on private property (excluding water meter).
- The property owner shall replace dead or missing vegetation within 14 days to ensure full compliance with approved landscape plans.
- Trees that have been topped or lion-tailed shall be replaced with a tree of value equal to that of the tree prior to the improper pruning.



- | | |
|---|--------------------------------|
| <input type="checkbox"/> Site/Dev Plan | <input type="checkbox"/> GCZ |
| <input type="checkbox"/> Tentative Plat | <input type="checkbox"/> ERZ |
| <input type="checkbox"/> Grading | <input type="checkbox"/> HDZ |
| <input type="checkbox"/> SWPPP | <input type="checkbox"/> WASH |
| <input type="checkbox"/> MUP | <input type="checkbox"/> Other |
| <input type="checkbox"/> Revision # | |

NO.	BY	DATE	REVISION



ARC STUDIOS
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Tucson, AZ 85719
Phone: (520) 882-8655
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landscape architecture urban design
environmental services integration design

PROJECT NO: 01-24149
DATE: 04/14/2025
DRAWN/DESIGNED BY: ARC
CHECKED BY: ARC

BENJAMIN SUPPLY

LANDSCAPE DETAILS



EXISTING SITE IMAGES



NORTHEAST CORNER FROM E. 6TH ST.



NORTH ELEVATION FROM E. 6TH ST.

EXISTING SITE IMAGES



NORTHWEST CORNER FROM E. 6TH ST.



WEST ELEVATION FROM MACLOVIO BARRAZA PARKWAY

EXISTING SITE IMAGES

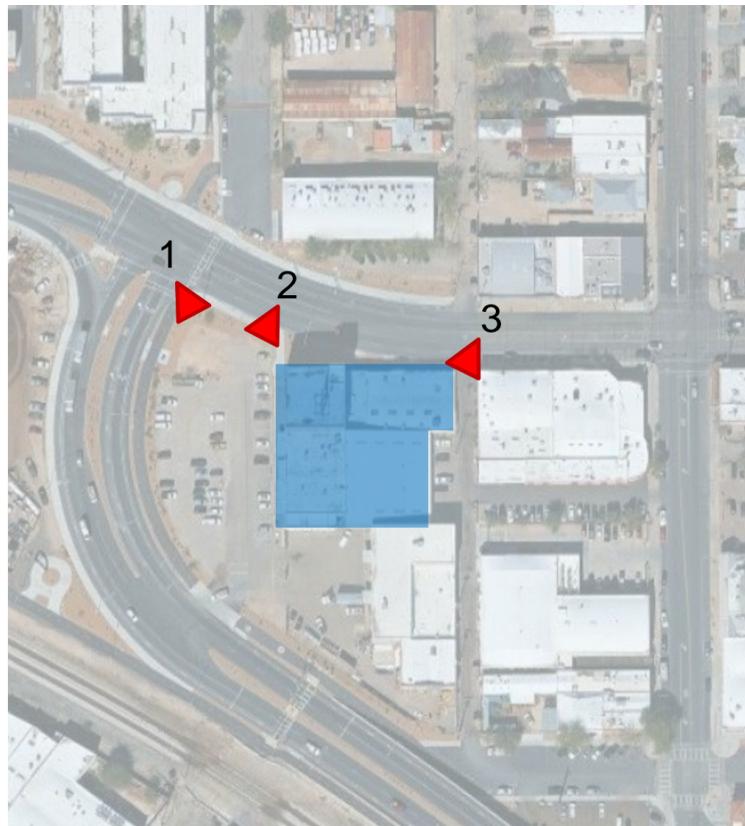


SOUTHWEST CORNER FROM MACLOVIO BARRAZA PARKWAY



SOUTH ELEVATION FROM MACLOVIO BARRAZA PARKWAY

SITE VICINITY CONTEXT IMAGES



SITE VICINITY CONTEXT IMAGES



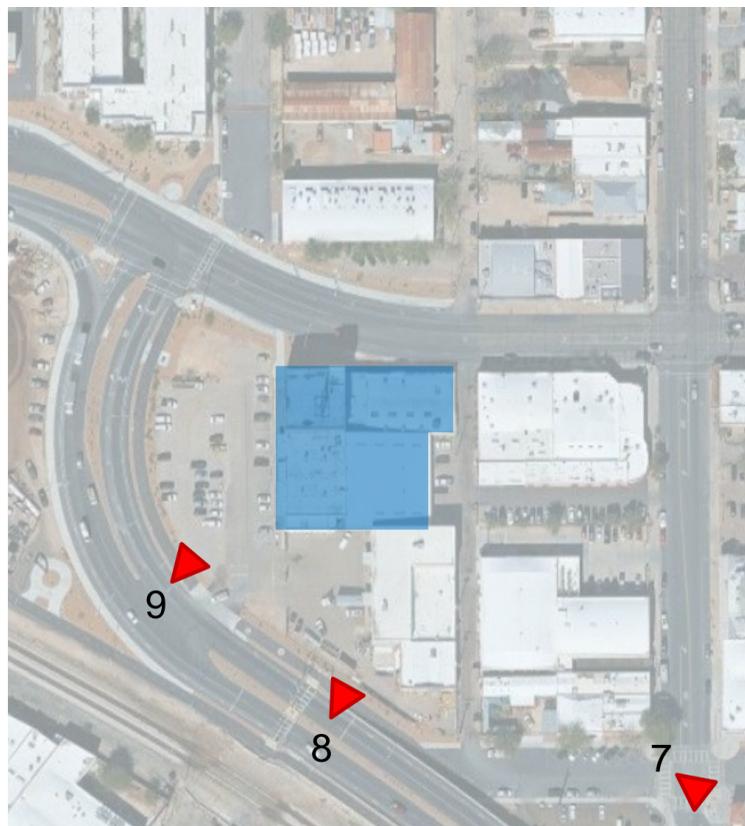
SITE VICINITY CONTEXT IMAGES



7



8



9

PROPOSED PROJECT DESIGN

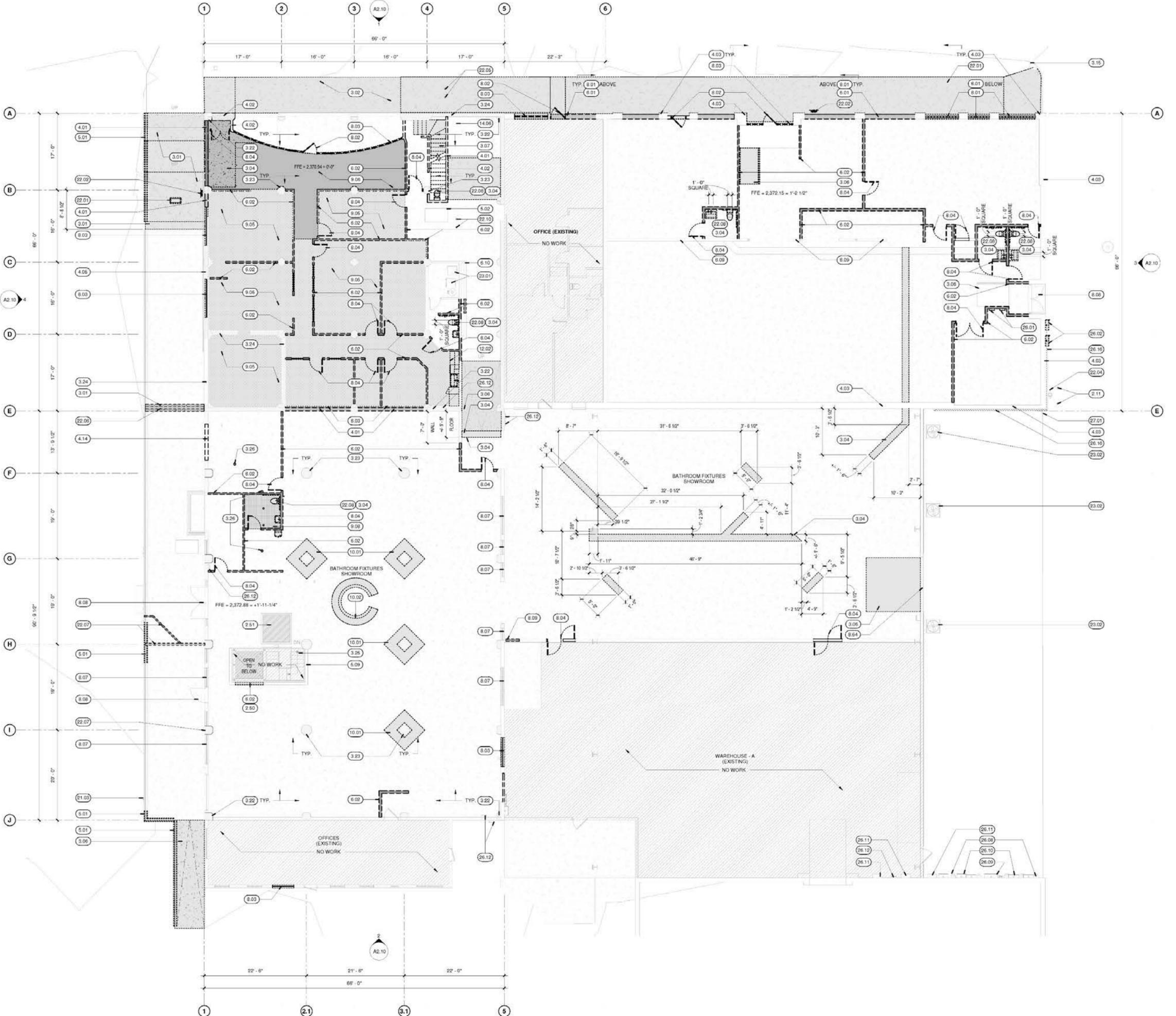


VIEW FROM E. 6TH ST. LOOKING SOUTHEAST

PROPOSED PROJECT DESIGN



VIEW FROM MACLOVIO BARRAZA PARKWAY LOOKING NORTHEAST



- GENERAL NOTE**
1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
 2. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS FROM EXISTING COLUMNS ARE FROM CENTER OF EXISTING COLUMN. WALLS ARE FROM EXISTING FACE OF WALL.
 3. COORDINATE WITH ELECTRICAL FOR NEW UNDERGROUND UTILITIES.
 4. CHEMICAL TERTIODE TREATMENT AT ALL NEW WORK AND DISTURBED AREAS.
 5. CAREFULLY REMOVE AND DISPOSE OF ITEMS / AREAS SCHEDULED FOR REMOVAL UNLESS NOTED OTHERWISE.
 6. AREAS SHOWN FOR REMOVAL ARE SHOWN AS DIAGRAMMATIC. COORDINATE WITH EXISTING FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS TO DETERMINE EXACT AREAS OF REMOVAL TO ALLOW FOR THE INSTALLATION OF NEW WORK.
 7. COORDINATE WITH THE EXTERIOR DEMOLITION ELEVATION SHEETS. COORDINATE WITH STRUCTURAL DRAWINGS.

- KEYNOTES**
- 2.11 EXIST TO REMAIN - BOLLARD/POST, REF. TO DEVELOPMENT PACKAGE
 - 2.50 CONTRACTOR TO PROVIDE TEMPORARY FALL PROTECTION (IN ACCORDANCE WITH OSHA STANDARDS) AS REQUIRED
 - 2.51 EXIST TO REMAIN - FLOOR SCALE, CONTRACTOR TO PROTECT DURING CONSTRUCTION
 - 3.01 EXIST TO BE SAWCUT AND REMOVED - EXTERIOR CONCRETE PLATWORK
 - 3.02 EXIST TO BE REMOVED - EXTERIOR CONCRETE PLATWORK
 - 3.04 EXIST TO BE SAWCUT AND REMOVED - INTERIOR CONCRETE
 - 3.06 EXIST TO BE REMOVED - INTERIOR CONCRETE RAMP
 - 3.07 EXIST TO BE REMOVED - INTERIOR CONCRETE STAIR
 - 3.15 EXIST TO REMAIN - CONCRETE CURB - CONTRACTOR TO PROTECT DURING CONST
 - 3.22 EXIST TO REMAIN - CONCRETE PERIMETER COLUMN
 - 3.23 EXIST TO REMAIN - CONCRETE INTERIOR COLUMN
 - 3.24 EXIST TO REMAIN - CONCRETE STAR, CONTRACTOR TO PROTECT DURING CONSTRUCTION, NO SCOPE OF WORK IN BASEMENT
 - 3.25 EXIST TO REMAIN - CONCRETE STAR, CONTRACTOR TO PROTECT DURING CONSTRUCTION, NO SCOPE OF WORK IN BASEMENT
 - 3.26 EXIST TO BE CORE - DRILLED AND REMOVED FOR FUTURE PLUMBING FUTURES
 - 4.01 EXIST TO BE REMOVED - NON-STRUCTURAL CLAY BLOCK INFILL, CONTRACTOR TO PROVIDE TEMPORARY FALL PROTECTION AS REQUIRED
 - 4.02 EXIST TO BE REMOVED - NON-STRUCTURAL BRICK INFILL
 - 4.03 EXIST TO REMAIN - BRICK WALL W/ STUCCO FINISH
 - 4.05 EXIST TO REMAIN - NOT STRUCTURAL CLAY BLOCK INFILL W/ STUCCO FINISH
 - 4.14 EXIST TO BE REMOVED - (NON-LOAD BEARING) INFILLED WALL STRUCTURE TO REMAIN
 - 5.01 EXIST TO BE SALVAGED AND RELOCATED - ORNAMENTAL CABLE RAILING, PROVIDE REPLACEMENT PARTS TO MATCH EXIST, WELD TO EXIST CONTIGUOUS EDGE ANGLE
 - 5.02 EXIST TO REMAIN - STEEL PLATE, CONTRACTOR TO INVESTIGATE INFILLING FLOOR OPENING, REMOVE PLATE IF POSSIBLE
 - 5.09 EXIST TO REMAIN - INTERIOR (NON-LOAD BEARING) PARTITION WALL
 - 5.09 EXIST TO BE REMOVED - STUCCO SHEATHING, AND NON-STRUCTURAL INFILL WALL
 - 6.02 EXIST TO BE REMOVED - INTERIOR (NON-LOAD BEARING) PARTITION WALL, CUT EXISTING FASTENERS AT SILL PLATE, GRIND FLUSH, DO NOT PRY OUT
 - 6.03 EXIST TO BE REMOVED - INTERIOR (NON-LOAD BEARING) FUR-OUT WALL, CUT EXISTING FASTENERS AT SILL PLATE, GRIND FLUSH, DO NOT PRY OUT
 - 6.09 EXIST TO REMAIN - INTERIOR NON-STRUCTURAL PARTITION WALL, CONTRACTOR TO VERIFY TRUSS COLUMN LOCATIONS PRIOR TO DEMOLITION
 - 6.10 EXIST TO REMAIN - INTERIOR NON-STRUCTURAL PARTITION WALL
 - 6.01 EXIST TO BE REMOVED - GLASS BLOCK WALL, CONTRACTOR TO TEMPORARILY SECURE THE BUILDING
 - 6.02 EXIST TO BE REMOVED - EXTERIOR STOREFRONT DOOR, CONTRACTOR TO TEMPORARILY SECURE THE BUILDING
 - 6.03 EXIST TO BE REMOVED - WINDOW SYSTEM, CONTRACTOR TO TEMPORARILY SECURE THE BUILDING
 - 6.04 EXIST TO BE REMOVED - INTERIOR DOOR
 - 6.07 EXIST TO REMAIN - STEEL DIVIDED LITE WINDOW SYSTEM, CONTRACTOR TO PROTECT AS NEEDED, TYP. PRIME + PAINT AS NECESSARY, FINAL COLOR T.B.D. COORD. W/ ARCHITECT. REPAIR AS NEEDED
 - 6.08 EXIST DOOR TO REMAIN - CONTRACTOR TO REFURBISH, REPLACE ALL HARDWARE TO MATCH AS CLOSE AS POSSIBLE TO EXIST. REPLACE THRESHOLD - ALL WEATHER STRIPPING, PREP AS NECESSARY. PRIME AND PAINT, FINAL COLOR T.B.D. COORD. W/ ARCHITECT. REPLACE CRACKED GLASS AS NECESSARY
 - 6.09 PROVIDE OPENING IN EXIST. WALL FOR FUTURE DOOR, COORD. W/ DOOR SCHEDULE
 - 6.04 EXIST TO BE REMOVED - 12" WIDE ROLL UP DOOR
 - 9.05 EXIST TO BE REMOVED - CARPET AND ALL ADHESIVE
 - 9.06 EXIST TO BE REMOVED - EPOXY FLOOR COATING
 - 9.08 EXIST TO BE REMOVED - FLOOR TILE
 - 10.01 EXIST TO BE REMOVED - SUSPENDED DISPLAY COUNTER, COORD. W/ OWNER PRIOR TO DEMO
 - 10.02 EXIST TO BE REMOVED - RECEPTION DESK, COORD. W/ OWNER PRIOR TO DEMO
 - 12.02 EXIST TO BE REMOVED - BREAKROOM KITCHENETTE TO BE REMOVED
 - 14.06 EXIST TO BE REMOVED - DECOMMISSIONED PLATFORM HOIST, ALL ASSOCIATED COMPONENTS, COUNTER WEIGHT AND RAILS TO REMAIN IF SPACE ALLOWS, COORD. W/ ARCHITECT
 - 21.03 EXIST TO REMAIN - FIC
 - 22.01 EXIST TO BE REMAIN - WATER METER AND VAULT, RELOCATE VAULT TO MATCH NEW GRADE, REFER TO DEVELOPMENT PACKAGE, COORD. W/ PLUMBING
 - 22.02 EXIST TO BE RELOCATED - BACKFLOW PREVENTER, PROVIDE SECURITY CAGE - CONCRETE MOUNTING PAD, COORD. W/ PLUMBING
 - 22.04 EXIST TO REMAIN - GAS METER
 - 22.05 EXIST TO REMAIN - SITE CLEAN OUT TO BE SALVAGED AND EXTENDED TO MATCH GRADE, REFER TO DEVELOPMENT PACKAGE, COORD. W/ PLUMBING
 - 22.06 EXIST TO BE REMOVED AND RELOCATED - EXIST. HORIZONTAL RAINWATER LEADER TO BE REMOVED, PLUMBING CONTRACTOR TO INSTALL NEW UNDER SLAB RAINWATER LEADER, DIA. TO MATCH OR EXCEED EXIST. MIN. 1/4" PER FOOT SLOPE, COORDINATE THE OUTLET INVERT ELEVATION WITH THE DEVELOPMENT PACKAGE
 - 22.07 EXIST TO BE REMOVED AND RELOCATED - EXIST. HORIZONTAL RAINWATER LEADER TO BE REMOVED OR ABANDONED TO ACCOMMODATE NEW SITE STAIR, PLUMBING CONTRACTOR TO INSTALL NEW RAINWATER LEADER IN THRU BASEMENT, DIA. TO MATCH OR EXCEED EXIST. MIN. 1/4" PER FOOT SLOPE, COORDINATE THE OUTLET INVERT ELEVATION WITH THE DEVELOPMENT PACKAGE
 - 22.08 EXIST TO BE REMOVED - PLUMBING FIXTURES, CAP ALL SUPPLY LINES AND CAP ALL SEWER LINES BELOW GRADE
 - 22.10 EXIST TO REMAIN - FLOOR CLEAN OUT
 - 22.01 EXIST TO REMAIN - FAN COIL, CONTRACTOR TO PROTECT UNIT AND ASSOCIATED POWER SUPPLY + LINES DURING CONSTRUCTION
 - 22.02 EXIST TO REMAIN - MECHANICAL CONDENSER, CONTRACTOR TO PROTECT UNIT AND ASSOCIATED POWER SUPPLY + LINES DURING CONSTRUCTION
 - 26.01 EXIST TO BE REMOVED - ELECTRICAL PANEL + CONDUIT BACK TO DISCONNECT, FEEDERS (WIRE) TO BE SALVAGED AND USED FOR FUTURE SCOPE, REF. TO ELEC.
 - 26.02 EXIST TO BE REMOVED - ELECTRICAL DISCONNECT, REF. TO ELEC.
 - 26.03 EXIST TO REMAIN - ELECTRICAL METER, REF. TO ELEC.
 - 26.09 EXIST TO REMAIN - ELECTRICAL CT CABINET, REF. TO ELEC.
 - 26.10 EXIST TO REMAIN - ELECTRICAL DISCONNECT, REF. TO ELEC.
 - 26.11 EXIST TO REMAIN - ELECTRICAL PULL BOX, REF. TO ELEC.
 - 26.12 EXIST TO REMAIN - ELECTRICAL PANEL, REF. TO ELEC.
 - 26.16 EXIST TO BE REMOVED - SURFACE MOUNTED METALLIC ELECTRICAL CONDUIT, FEEDERS (WIRE) TO BE SALVAGED AND USED FOR FUTURE SCOPE, REF. TO ELEC.
 - 27.01 EXIST COMMUNICATIONS PEDESTAL, COORD. CORN. W/ SERVICE PROVIDER



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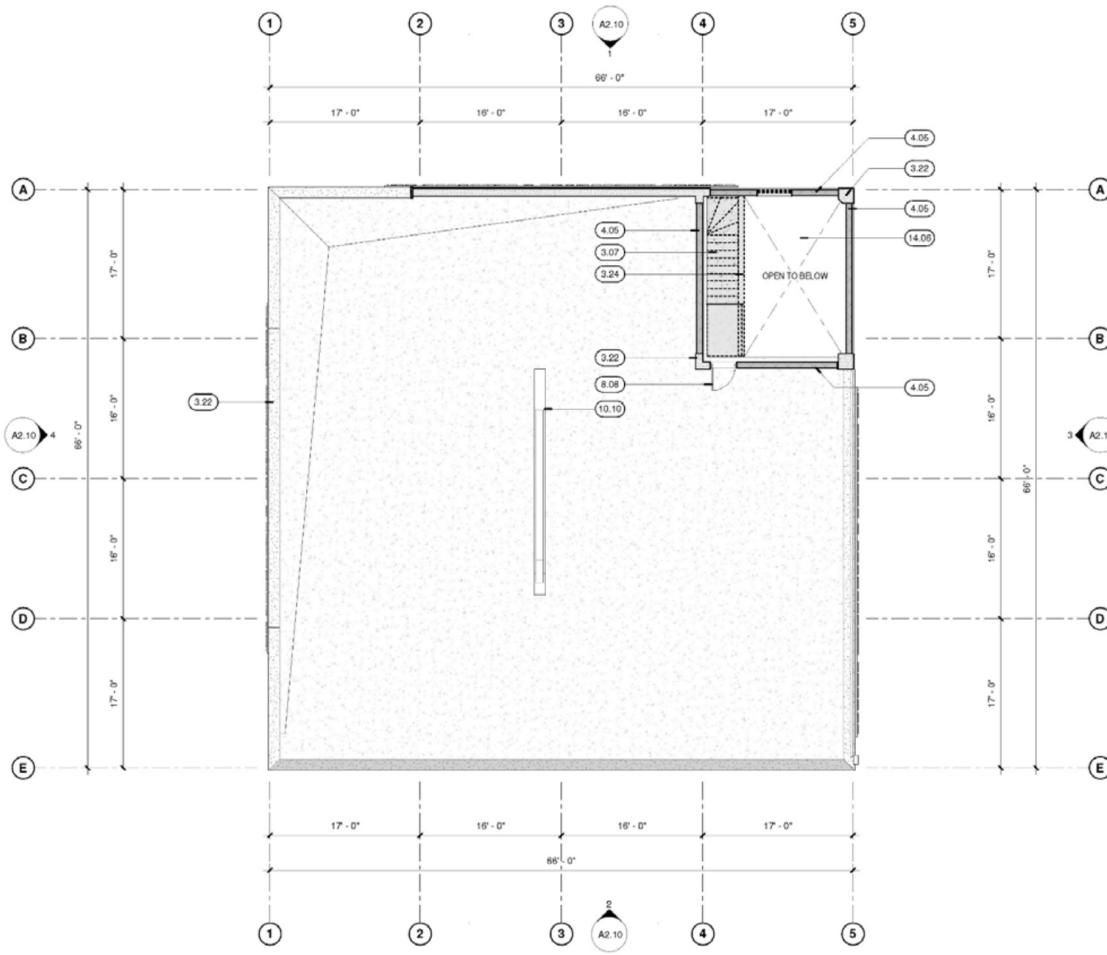
ISSUE DATE: 2025.09.15
 PROJ # 790
 DRAWN BY: SJD
 CHECKED BY: JRM

REVISIONS

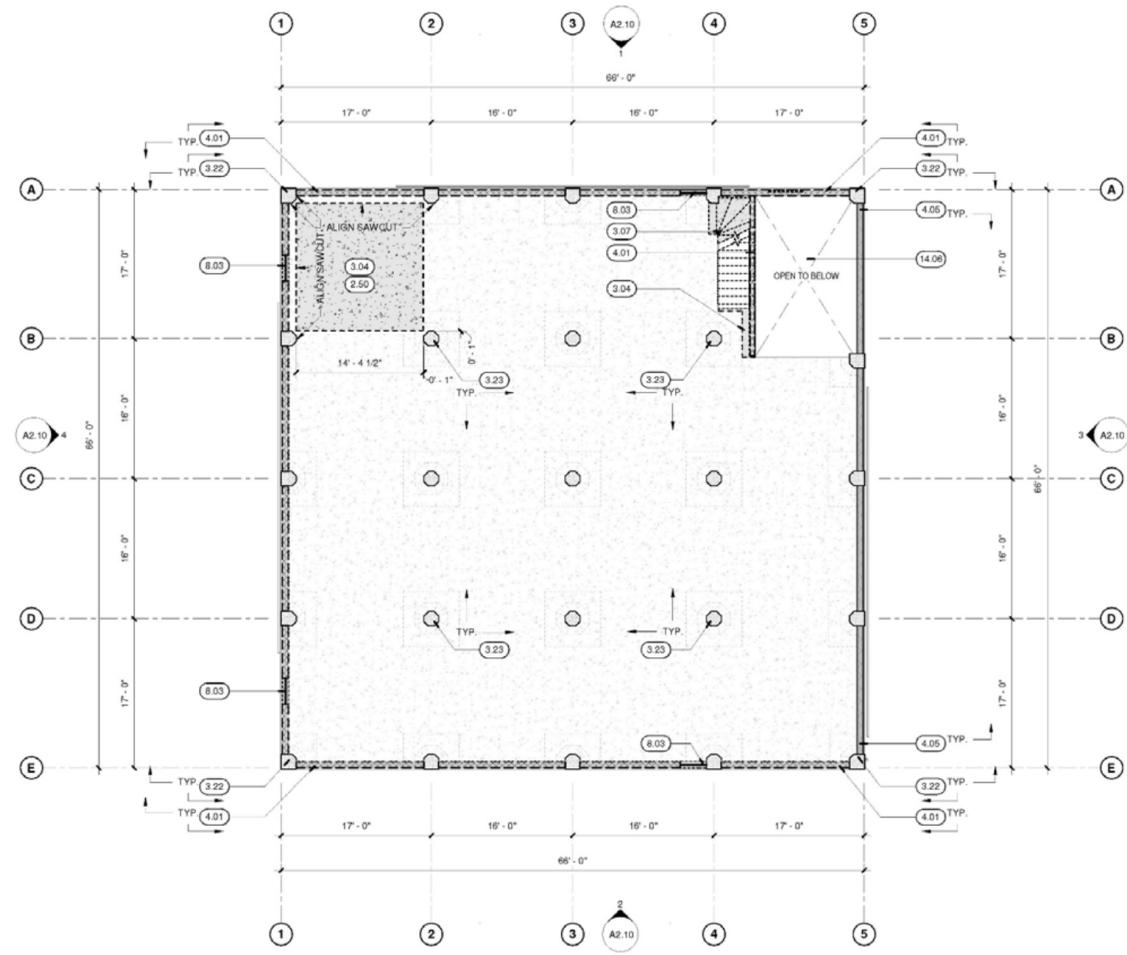
NO.	DESCRIPTION

1 DEMOLITION FIRST FLOOR PLAN
 1/8" = 1'-0"

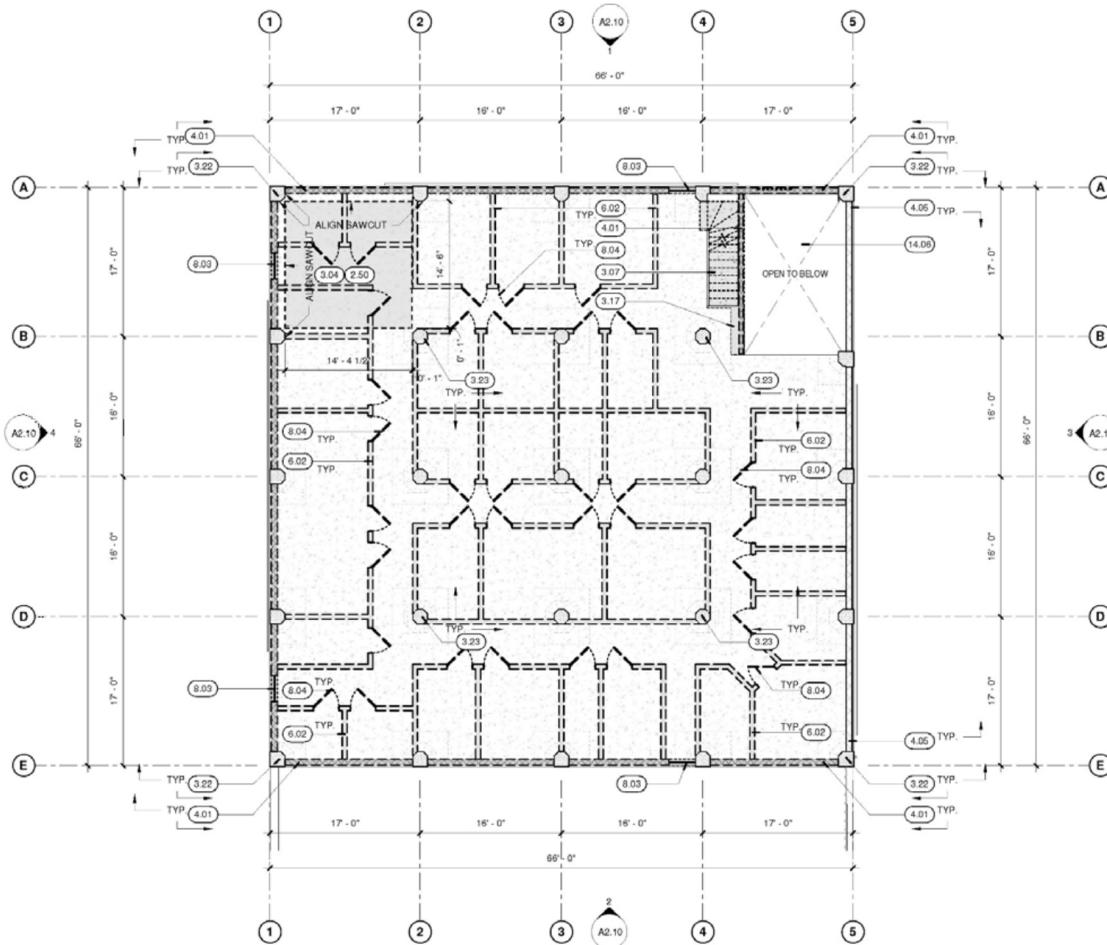




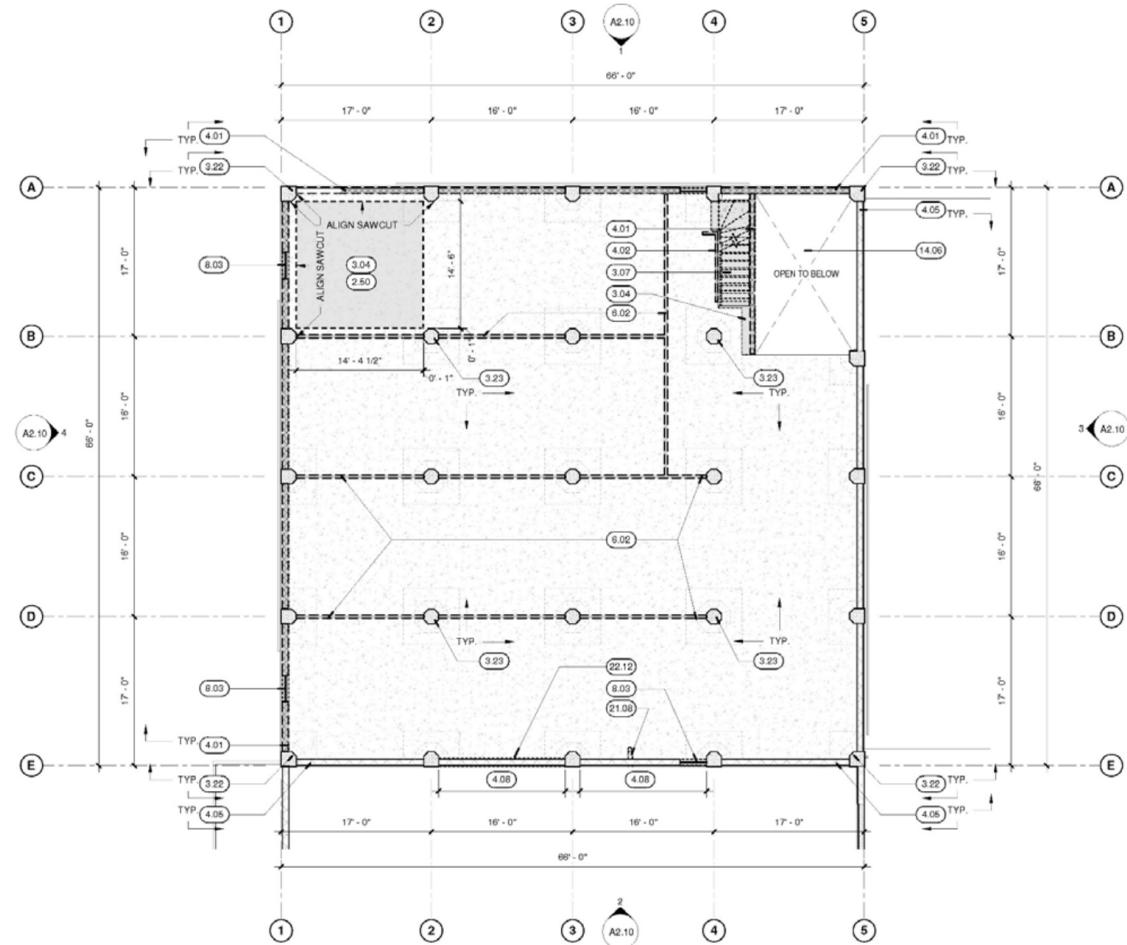
4 DEMOLITION ROOF PLAN
1/8" = 1'-0"



3 DEMOLITION 4TH FLOOR PLAN
1/8" = 1'-0"



2 DEMOLITION 3RD FLOOR PLAN
1/8" = 1'-0"



1 DEMOLITION 2ND FLOOR PLAN
1/8" = 1'-0"

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 7. COORDINATE WITH THE EXTERIOR DEMOLITION ELEVATION SHEETS. COORDINATE WITH STRUCTURAL DRAWINGS.

- KEYNOTES**
- 2.50 CONTRACTOR TO PROVIDE TEMPORARY FALL PROTECTION (IN ACCORDANCE WITH OSHA STANDARDS) AS REQUIRED.
 - 3.04 EXIST - TO BE SAWCUT AND REMOVED - INTERIOR CONCRETE
 - 3.07 EXIST - TO BE REMOVED - INTERIOR CONCRETE STAIR
 - 3.17 EXIST - TO REMAIN - INTERIOR CONCRETE SLAB
 - 3.22 EXIST - TO REMAIN - CONCRETE PERIMETER COLUMN
 - 3.23 EXIST - TO REMAIN - CONCRETE INTERIOR COLUMN
 - 3.24 EXIST - TO REMAIN - CONCRETE WALL
 - 4.01 EXIST - TO BE REMOVED - NON-STRUCTURAL CLAY BLOCK INFILL. CONTRACTOR TO PROVIDE TEMPORARY FALL PROTECTION AS REQUIRED.
 - 4.02 EXIST - TO BE REMOVED - NON-STRUCTURAL BRICK INFILL
 - 4.05 EXIST - TO REMAIN - HOT STRUCTURAL CLAY BLOCK INFILL W/ STUCCO FINISH
 - 4.08 EXIST - TO BE REMOVED - NON-STRUCTURAL CLAY BLOCK INFILL BELOW SOUTHERN BUILDING ROOF LINE (ROUGHLY 5 FT AFF). SAWCUT AND WEDGE FOR NEW LINTL. COORD. W/ ARCHITECT FOR EXACT LOCATION. REF. TO STRUCTURAL DRAWINGS.
 - 6.02 EXIST - TO BE REMOVED - INTERIOR (NON-LOAD BEARING) PARTITION WALL. CUT EXISTING FASTENERS AT SILL PLATE. GRIND FLUSH. DO NOT PRY OUT.
 - 8.03 EXIST - TO BE REMOVED - WINDOW SYSTEM. CONTRACTOR TO TEMPORARILY SECURE THE BUILDING.
 - 8.04 EXIST - TO BE REMOVED - INTERIOR DOOR
 - 8.06 EXIST - DOOR TO REMAIN - CONTRACTOR TO REFURBISH. REPLACE ALL HARDWARE TO MATCH AS CLOSE AS POSSIBLE TO EXIST. REPLACE THRESHOLD + ALL WEATHER STRIPPING. PREP AS NECESSARY. PRIME AND PAINT. FINAL COLOR T.B.D. COORD. W/ ARCHITECT (REPLACE CRACKED GLASS AS NECESSARY)
 - 10.10 EXIST - TO REMAIN - BUILDING SIGNAGE
 - 14.06 EXIST - TO BE REMOVED - DECOMMISSIONED PLATFORM HOIST. ALL ASSOCIATED COMPONENTS, COUNTER WEIGHT AND RAILS TO REMAIN IF SPACE ALLOWS. COORD. W/ ARCHITECT
 - 21.06 EXIST - TO BE RELOCATED - FIRE SPRINKLER TRUNK LINE. COORD. W/ FIRE SPRINKLER PERMIT DWG. (SEPARATE PERMIT)
 - 22.12 EXIST - TO BE RELOCATED - COPPER WATER LINE TO RELOCATED. COORD. W/ ARCHITECT TO DETERMINE EXACT LOCATION. REF. TO PLUMBING

repp+mclain
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ISSUE DATE: 2025.09.15
PROJ # 730
DRAWN BY: SJD
CHECKED BY: JRM

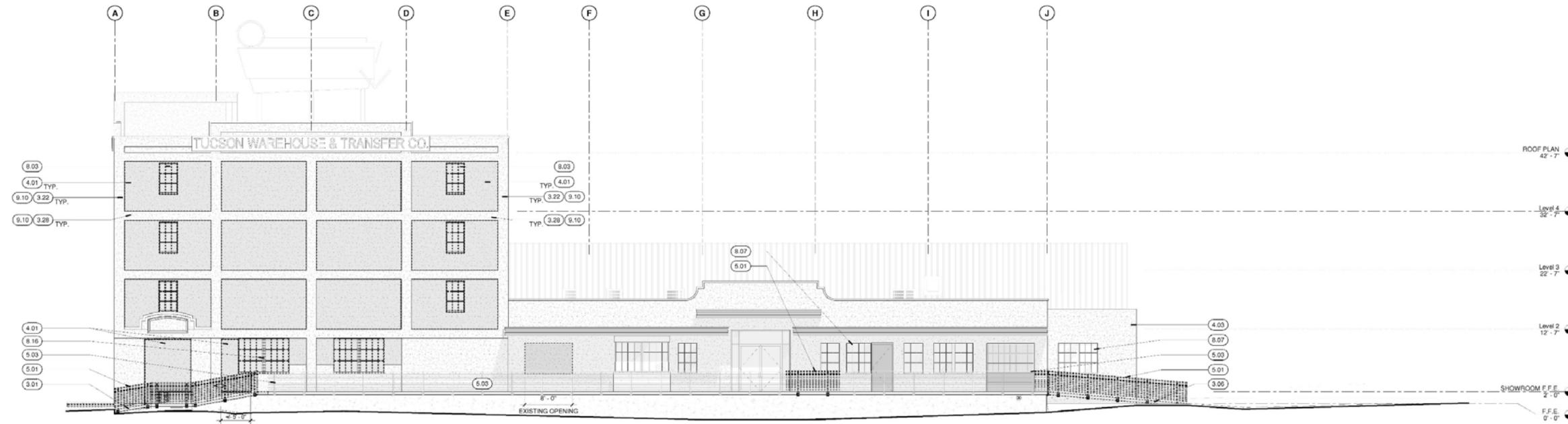
REVISIONS

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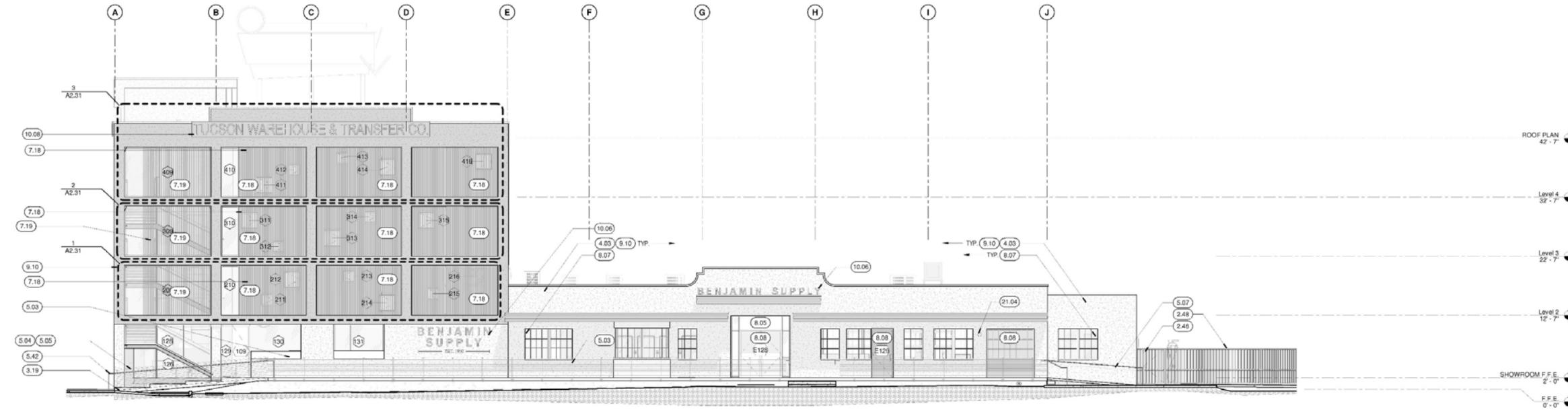


KEY PLAN

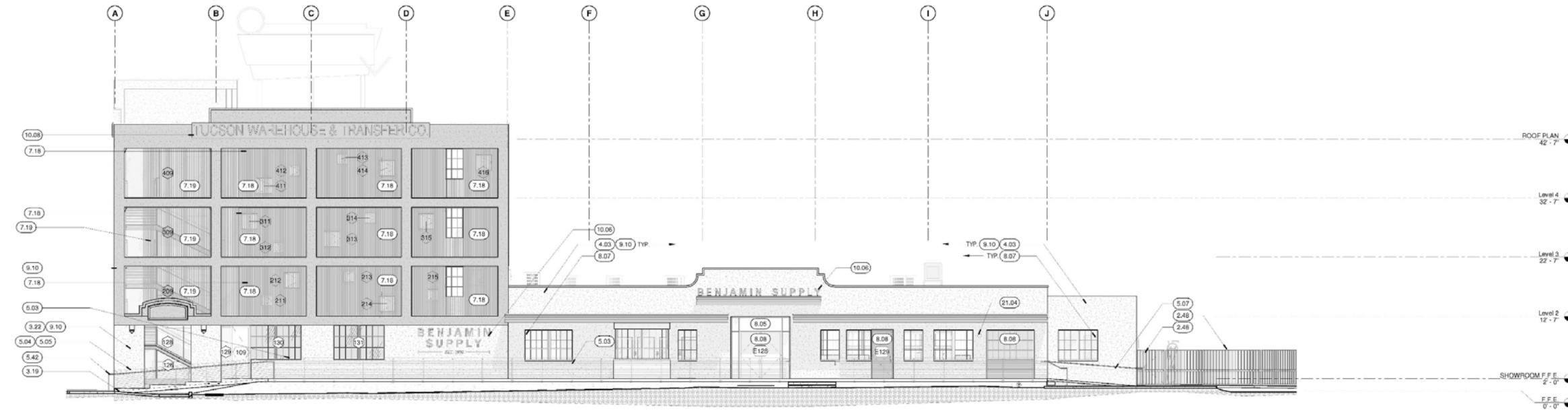
BENJAMIN SUPPLY - REMODEL
440 N. 7TH AVE. TUCSON, AZ 85705
DEMOLITION - 2ND + 3RD + 4TH + ROOF PLAN
A0.20



2 DEMO - WEST ELEVATION
 1/8" = 1'-0"



1 WEST ELEVATION V1
 1/8" = 1'-0"



3 WEST ELEVATION V2
 1/8" = 1'-0"

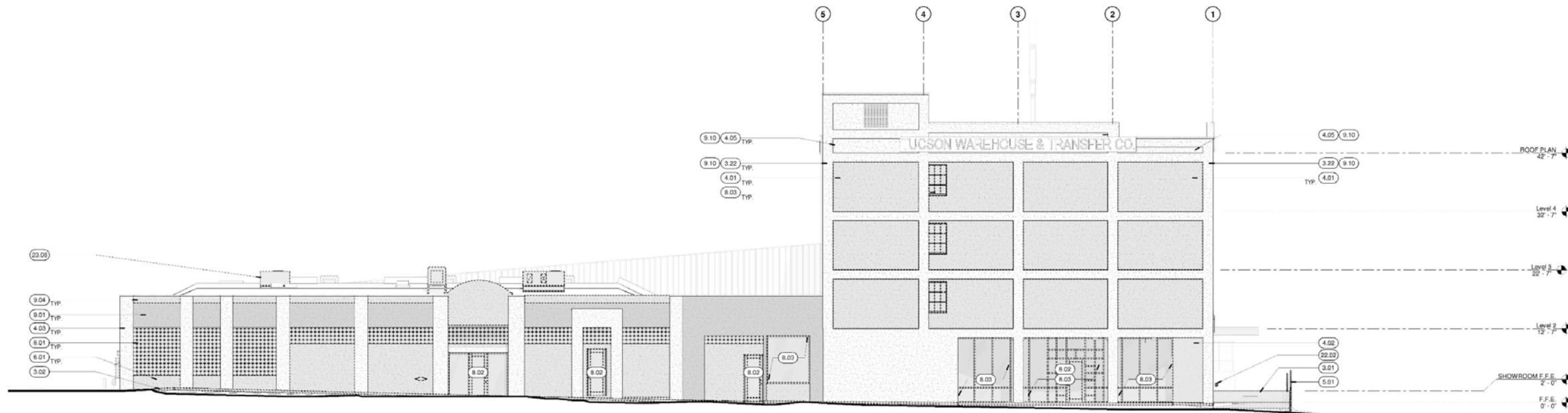
KEYNOTES
2.46 NEW PEDESTRIAN ACCESS GATE. GATE TO REMAIN IN THE OPEN POSITION DURING HOURS OF OPERATION, SEE ELEVATION FOR ADDITIONAL DETAILS.
2.48 NEW METAL SECURITY FENCE. REFER TO SHEET A7.01 FOR DETAILS. CONTRACTOR TO PAINT NEW AND OLD TO MATCH. COORD. W ARCHITECT.
3.01 EXIST. TO BE SAWCUT AND REMOVED - EXTERIOR CONCRETE SLABWORK.
3.06 EXIST. TO BE REMOVED - INTERIOR CONCRETE RAMP.
3.19 NEW CONCRETE EXTERIOR LANDING PAD. STANDARD GRAY. LIGHT SWEAT FINISH. SLOPE AWAY FROM STRUCTURE. REF. TO STRUCT. REF. TO DEVELOPMENT PACKAGE.
3.22 EXIST. TO REMAIN - CONCRETE PERIMETER COLUMN.
3.28 EXIST. TO REMAIN - CONCRETE BEAM.
4.01 EXIST. TO BE REMOVED - NON-STRUCTURAL CLAY BLOCK INFILL. CONTRACTOR TO PROVIDE TEMPORARY FALL PROTECTION AS REQUIRED.
4.03 EXIST. TO REMAIN - BRICK WALL W STUCCO FINISH.
5.01 EXIST. TO BE SALVAGED AND RELOCATED - ORNAMENTAL CABLE RAILING. PROVIDE REPLACEMENT PARTS TO MATCH EXIST. WELD TO EXIST. CONTINUOUS EDGE ANGLE.
5.03 EXIST. TO REMAIN - ORNAMENTAL CABLE RAILING - STEEL EDGE ANGLE (4x6x3/8 V.I.F.)
5.04 NEW STEEL EDGE ANGLE. MATCH EXIST. (4x6x3/8 V.I.F.) INSTALL USING CONCRETE ANCHOR, PLUG WELD, GRIND SMOOTH.
5.05 REFINISHED - ORNAMENTAL CABLE RAILING. PROVIDE REPLACEMENT PARTS TO MATCH EXIST. WELD TO NEW CONTINUOUS EDGE ANGLE.
5.07 NEW PIPE HANDRAIL. (IF INTO EXIST. WHEN PRESENT) GRIND FLUSH SMOOTH. EASE EDGES. PAINT W SELF ETCHING PRIMER. FINAL COLOR T.B.D. COORD. W ARCHITECT. REF. TO DEVELOPMENT PACKAGE.
5.42 NEW 1-1/4" PIPE HANDRAIL. MITERED JOINTS. GRIND FLUSH SMOOTH. EASE EDGES. PAINT W SELF ETCHING PRIMER. FINAL COLOR T.B.D. COORD. W ARCHITECT. REF. TO STRUCT.
7.18 METAL WALL PANEL. FLUSH PANEL W CONCEALED FASTENER. COLOR TO MATCH. VERTICAL ORIENTATION. 22 GA. COLOR + FINISH T.B.D. OF WEATHER BARRIER. INSTALL PER MFR'S SPEC. COORD. PANEL LAYOUT W ARCHITECT.
7.19 METAL WALL PANEL. PERFORATED FLUSH PANEL W CONCEALED FASTENER. COLOR TO MATCH. VERTICAL ORIENTATION. 22 GA. COLOR + FINISH + PERFORATION PATTERN T.B.D. OF WEATHER BARRIER. INSTALL PER MFR'S SPEC. COORD. PANEL LAYOUT W ARCHITECT.
8.03 EXIST. TO BE REMOVED - WINDOW SYSTEM. CONTRACTOR TO TEMPORARILY SECURE THE BUILDING.
8.05 EXIST. ALUMINUM WINDOW SYSTEM TO REMAIN. CONTRACTOR TO PROTECT AS NEEDED. TYP. PRIME + PAINT IF NECESSARY. FINAL COLOR T.B.D. COORD. W ARCHITECT.
8.07 EXIST. TO REMAIN - STEEL DIVIDED LITE WINDOW SYSTEM. CONTRACTOR TO PROTECT AS NEEDED. TYP. PRIME + PAINT AS NECESSARY. FINAL COLOR T.B.D. COORD. W ARCHITECT - REPAIR AS NEEDED.
8.08 EXIST. DOOR TO REMAIN - CONTRACTOR TO REFINISH. REPLACE ALL HARDWARE TO MATCH AS CLOSE AS POSSIBLE TO EXIST. REPLACE THRESHOLD + ALL WEATHER STRIPPING. PREP AS NECESSARY. PRIME AND PAINT. FINAL COLOR T.B.D. COORD. W ARCHITECT. REPLACE GLAZED GLASS AS NECESSARY.
8.16 SALVAGED/RELOCATED STEEL DIVIDED LITE WINDOW SYSTEM TO BE INSTALLED IN EXIST. OPENING. CONTRACTOR TO PROTECT AS NEEDED. TYP. PRIME + PAINT AS NECESSARY. FINAL COLOR T.B.D. COORD. W ARCHITECT - REPAIR AS NEEDED.
9.10 NEW STUCCO SYSTEM (SKIM COAT ON EXIST. ADHESIVE PRIMER) SQUARE CORNER PROFILE THROUGHOUT. PROVIDE STUCCO STOP AT ANY AND ALL LOCATIONS INCLUDING WINDOWS, DOORS, OR OTHER ARCHITECTURAL FEATURES. TEXTURE TO BE 400 SAND FINISH. PAINTED STUCCO.
10.06 SIGNAGE PROVIDED BY OTHER. CONTRACTOR TO COORDINATE MOUNTING SUPPORTS AND ELECTRICAL. REQUIRES W THE ARCHITECT PRIOR TO INSTALLATION (SEPARATE PERMIT).
10.08 EXIST. TO REMAIN - BUILDING SIGNAGE - CONTRACTOR TO PAINT BACKGROUND PANEL. COLOR T.B.D. COORD. W ARCHITECT.
21.04 EXIST. TO REMAIN - FIRE BELL.

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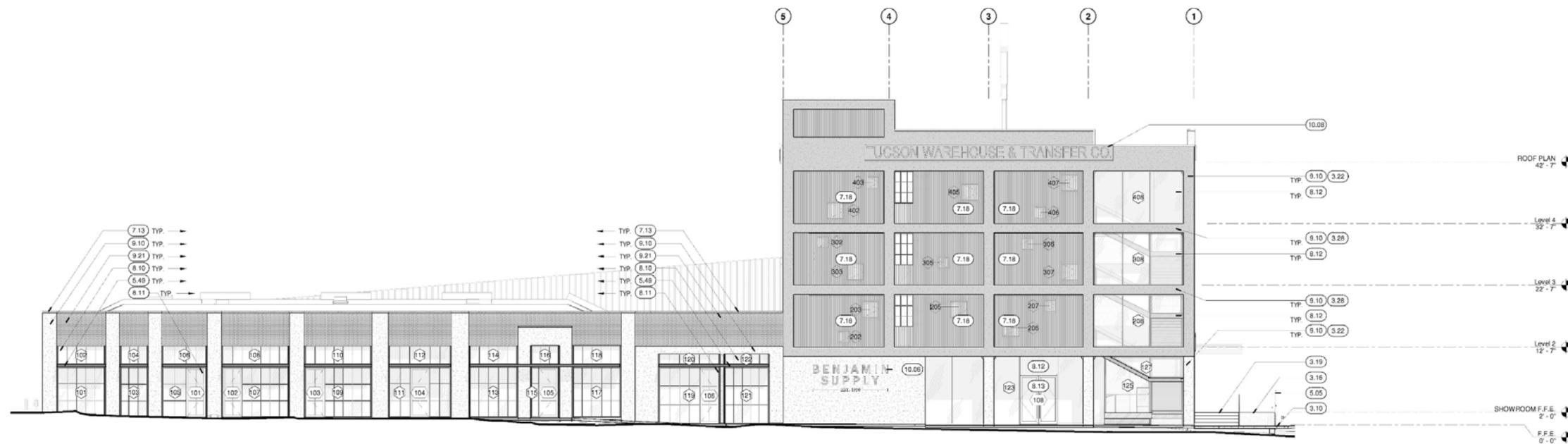
NO.	DESCRIPTION



1 DEMOLITION _ NORTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION V1
1/8" = 1'-0"



3 NORTH ELEVATION V2
1/8" = 1'-0"

KEYNOTES	
3.01	EXIST. TO BE SANGUIT AND REMOVED - EXTERIOR CONCRETE FLATWORK
3.02	EXIST. TO BE REMOVED - EXTERIOR CONCRETE FLATWORK
3.10	NEW CONCRETE EXTERIOR FLATWORK, REF. STRUCT. STANDARD GRAY LIGHT SWEAT FINISH, SLOPE AWAY FROM STRUCTURE, REF. TO DEVELOPMENT PACKAGE
3.16	NEW CONCRETE EXTERIOR RAMP, STANDARD GRAY, TEXTURE TO MATCH EXIST. ADJACENT FLATWORK, REF. TO DEVELOPMENT PACKAGE
3.19	NEW CONCRETE EXTERIOR LANDING PAD, STANDARD GRAY, LIGHT SWEAT FINISH, SLOPE AWAY FROM STRUCTURE, REF. TO STRUCT. REF. TO DEVELOPMENT PACKAGE
3.22	EXIST. TO REMAIN - CONCRETE PERIMETER COLUMN
3.28	EXIST. TO REMAIN - CONCRETE BEAM
4.01	EXIST. TO BE REMOVED - NON-STRUCTURAL CLAY BLOCK INFILL, CONTRACTOR TO PROVIDE TEMPORARY FALL PROTECTION AS REQUIRED
4.02	EXIST. TO BE REMOVED - NON-STRUCTURAL BRICK INFILL
4.03	EXIST. TO REMAIN - BRICK WALL W/ STUCCO FINISH
4.05	EXIST. TO REMAIN - NOT STRUCTURAL CLAY BLOCK INFILL W/ STUCCO FINISH
5.01	EXIST. TO BE SALVAGED AND RELOCATED - ORNAMENTAL CABLE RAILING, PROVIDE REPLACEMENT PARTS TO MATCH EXIST., WELD TO EXIST. CONTINUOUS EDGE ANGLE
5.05	REFURBISHED - ORNAMENTAL CABLE RAILING, PROVIDE REPLACEMENT PARTS TO MATCH EXIST., WELD TO NEW CONTINUOUS EDGE ANGLE
5.40	NEW CANTYVAINING, C-CHANNEL PERIMETER W/ PERFORATED CORRUGATED METAL INFILL, PAINT W/ SELF ETCHING PRIMER, FINAL COLOR T.B.D., COORD. W/ ARCHITECT, REF. TO STRUCT.
6.01	EXIST. TO BE REMOVED - STUCCO, SHEATHING, AND NON-STRUCTURAL INFILL WALL
7.13	NEW PARAPET CAP, 20 GA. PAINTLOC, COLOR TBD, COORD. W/ ARCHITECT
7.18	METAL WALL PANEL, FLUSH PANEL W/ CONCEALED FASTENERS, COLOR TO MATCH, VERTICAL ORIENTATION, 22 GA. COLOR + FINISH T.B.D. OF WEATHER BARRIER, INSTALL PER MFR'S SPEC., COLOR PANEL LAYOUT W/ ARCHITECT
8.01	EXIST. TO BE REMOVED - GLASS BLOCK WALL, CONTRACTOR TO TEMPORARILY SECURE THE BUILDING
8.02	EXIST. TO BE REMOVED - EXTERIOR STOREFRONT DOOR, CONTRACTOR TO TEMPORARILY SECURE THE BUILDING
8.03	EXIST. TO BE REMOVED - WINDOW SYSTEM, CONTRACTOR TO TEMPORARILY SECURE THE BUILDING
8.10	NEW ALUMINUM WINDOW SYSTEM, SIMULATED DIVIDED LITE (SDL) (WEATHER SHIELD, VUE COLLECTION OR EQUAL), BLACK ANODIZED FINISH
8.11	NEW ALUMINUM DOOR, SIMULATED DIVIDED LITE (SDL) (WEATHER SHIELD, VUE COLLECTION OR EQUAL), BLACK ANODIZED FINISH
8.12	NEW ALUMINUM STOREFRONT SYSTEM, (ARCADIA AFG81 SERIES OR EQUAL) BLACK ANODIZED FINISH
8.13	NEW ALUMINUM DOOR SYSTEM, (ARCADIA NS121 NARROW STYLE OR EQUAL, BLACK ANODIZED FINISH, REFER TO SHEET AS-01
9.01	EXIST. TO BE REMOVED - CAREFULLY REMOVE STUCCO AND METAL LATH, CONTRACTOR TO MAINTAIN BRICK SUBSTRATE
9.04	EXIST. TO BE REMOVED - STUCCO FOAM BUMP-OUT
9.10	NEW STUCCO SYSTEM, (SJM COAT) OF EXIST., ADHESIVE PRIMER, SQUARE CORNER PROFILE THROUGHOUT, PROVIDE STUCCO STOP AT ANY AND ALL LOCATIONS ABUTTING WINDOWS, DOORS, OR OTHER ARCHITECTURAL FEATURES, TEXTURE TO BE #20 SAND FINISH, PAINTED STUCCO
9.21	SANDBLAST (E) BRICK, COORD. W/ ARCHITECT
10.06	SIGNAGE PROVIDED BY OTHER, CONTRACTOR TO COORDINATE MOUNTING SUPPORTS AND ELECTRICAL REQUIREMENTS W/ THE ARCHITECT PRIOR TO INSTALLATION (SEPARATE PERMIT)
10.08	EXIST. TO REMAIN - BUILDING SIGNAGE - CONTRACTOR TO PAINT BACKGROUND PANEL, COLOR T.B.D., COORD. W/ ARCHITECT
22.02	EXIST. TO BE RELOCATED - BACKFLOW PREVENTER, PROVIDE SECURITY CAGE - CONCRETE MOUNTING PAD, COORD. W/ PLUMBING
	EXIST. TO BE REMOVED - RTU, CONTRACTOR TO PROVIDE CURB CUP AT ALL ROOF PENETRATIONS, COORD. W/ MECH.

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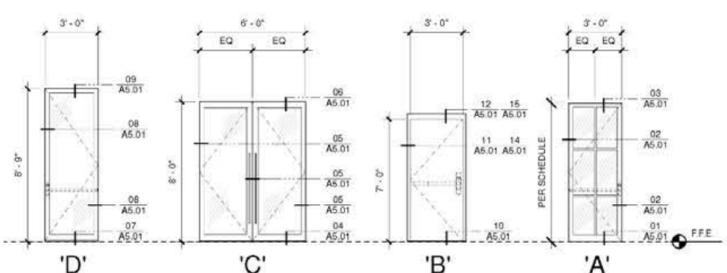
REVISIONS

HARDWARE SCHEDULE

- HW-1 EXTERIOR ENTRANCE (BDL)**
 - DALLAS LEVER HANDLE EACH SIDE WITH LOCKBOX BY DOOR MANUFACTURER
 - *PANIC EXIT DEVICE WITH ENTRY LEVER (REFER TO DOOR SCHEDULE)
 - PIVOT SET
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH INTEGRAL WEATHER SWEEP SURFACE MOUNTED CLOSER, COLOR TO MATCH DOOR
 - WEATHER STRIPPING
- HW-2 EXTERIOR EGRESS**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY LEVER
 - MORTISE LOCK SET / SELF LATCHING
 - BALL BEARING MORTISE HINGE
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH SMOKE SEAL WHERE REQUIRED
 - SURFACE MOUNTED CLOSER (SELF-CLOSING)
 - WEATHER STRIPPING
- HW-3 EXTERIOR ENTRANCE**
 - LADDER PULL EACH SIDE WITH KEYPED ENTRY FLUSH BOLT AT SECONDARY LEAF (TOP AND BOTTOM)
 - *TOP ADJUSTABLE THRESHOLD MOUNT BOTTOM PIVOT SET
 - CONCEALED OVERHEAD CLOSER
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH INTEGRAL WEATHER SWEEP
 - WEATHER STRIPPING
 - SIGNAGE TO BE POSTED ABOVE DOOR WHICH STATES THE FOLLOWING
"THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE OCCUPIED"
- HW-4 EXTERIOR EGRESS**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY
 - MORTISE LOCK SET W/ DEADBOLT / SELF LATCHING
 - MORTISE CONCEALED CONTINUOUS GEARED HINGE
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH INTEGRAL WEATHER SWEEP
 - WEATHER STRIPPING
- HW-5 INTERIOR GLASS DOOR**
 - LADDER PULL EACH SIDE, EMTEX OR EQUAL
 - CLR EUROPEAN HYDRAULIC BOTTOM PATCH FITTING PIVOT HINGE, SELF-CENTERING, CLR EUROPEAN TOP PATCH FITTING, FINISH AND HOLD-OPEN FUNCTION
 - ADA-COMPLIANT HALF SADDLE THRESHOLD
 - FLOOR STOP
- HW-6 INTERIOR DOOR**
 - KEYED ENTRY LEVER
 - MORTISE LOCK SET / SELF LATCHING
 - BALL BEARING MORTISE HINGE
 - SURFACE MOUNTED CLOSER (SELF-CLOSING)
 - WEATHER STRIPPING
 - FLOOR STOP
- HW-7 INTERIOR DOOR**
 - LEVER HANDLE EACH SIDE WITH PRIVACY LOCK FUNCTION, EMTEX OR EQUAL
 - BALL BEARING MORTISE HINGE, SQUARE CORNER
 - FLOOR STOP
 - *CUT-IN LITE WITH 1/2" GLASS, RABBETED IN WITH WOOD STOP (REFER TO DOOR ELEVATION SCHEDULE)
- HW-8 INTERIOR RESTROOM DOOR**
 - LEVER HANDLE EACH SIDE, PRIVACY MORTISE LOCK WITH INDICATOR, EMTEX OR EQUAL
 - BALL BEARING SELF-CLOSING MORTISE HINGES, SQUARE CORNER
 - FLOOR STOP
- HW-9 INTERIOR HW DOOR**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY LEVER
 - MORTISE LOCK SET / SELF LATCHING
 - BALL BEARING MORTISE HINGES
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH SMOKE SEAL WHERE REQUIRED
 - SURFACE MOUNTED CLOSER (SELF-CLOSING)
 - FLOOR STOP
- HW-10 BYPASS DOOR**
 - SLIDING DOOR HARDWARE WITH SOFT CLOSE FUNCTION, EMTEX OR EQUAL
 - NARROW MODERN RECTANGULAR MORTISE PULL WITH PASSAGE FUNCTION AND INTEGRATED EDGE PULL
- HW-11 EXISTING DOOR (NO NEW HARDWARE)**
 - EXISTING PANIC EXIT DEVICE
 - EXISTING ENTRY HARDWARE
 - EXISTING LOCKSET
 - EXISTING HINGES
 - EXISTING ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD
 - EXISTING CLOSER
 - EXISTING WEATHER STRIPPING
- HW-12 EXISTING DOOR (NEW HARDWARE)**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY LEVER
 - SURFACE MOUNTED CLOSER
 - FLUSH BOLT AT DOUBLE DOOR CONDITION, WHERE APPLICABLE
 - EXISTING LOCKSET
 - EXISTING HINGES
 - EXISTING ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD
 - NEW SELF CLOSER
 - NEW WEATHER STRIPPING

EXTERIOR DOOR SCHEDULE - REFER TO PLAN FOR LHRH SWING

DOOR TAG	LOCATION	ELEVATION	WIDTH	HEIGHT	FRAME THICKNESS	FRAME MATERIALS	DOOR STYLE / MATERIAL	THICKNESS	SWING	THRESHOLD	HARDWARE	COMMENTS	DOOR TAG
101	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SOL	2.38"	PER PLAN	0'-0 1/2"	HW-1		101
102	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SOL	2.38"	PER PLAN	0'-0 1/2"	HW-1		102
103	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SOL	2.38"	PER PLAN	0'-0 1/2"	HW-1		103
104	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SOL	2.38"	PER PLAN	0'-0 1/2"	HW-1		104
105	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SOL	2.38"	PER PLAN	0'-0 1/2"	HW-1		105
106	EXTERIOR	A	3'-0"	9'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SOL	2.38"	PER PLAN	0'-0 1/2"	HW-1	*PROVIDE PANIC	106
107	EXTERIOR	B	3'-0"	7'-0"	4 1/4"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0 1/2"	HW-2	1-1/2 HR FIRE RATING	107
108	EXTERIOR	C	6'-0"	8'-0"	4 1/2"	ALUMINUM	*ARCADIA AFG451	1.34"	PER PLAN	0'-0 1/2"	HW-3		108
109	EXTERIOR	D	3'-0"	8'-11"	4 1/4"	ALUMINUM	*ARCADIA AFG451	1.34"	PER PLAN	0'-0 1/2"	HW-4		109
124	EXTERIOR	B	3'-0"	7'-0"	8 3/4"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0 1/2"	HW-2		124
127	EXTERIOR	B	3'-0"	7'-0"	4 3/4"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0 1/2"	HW-2		127
E128	EXTERIOR	N/A	7'-0"	7'-11"	4 1/2"	ALUMINUM	DOUBLE ALUMINUM STOREFRONT	1.34"	PER PLAN	0'-0 1/2"	HW-12		E128
E129	EXTERIOR	N/A	3'-4"	8'-0"	4 1/2"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0 1/2"	HW-12		E129
E130	EXTERIOR	B-SM	3'-0"	7'-0"	4 1/2"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0 1/2"	HW-11		E130
E131	EXTERIOR	B-SM	3'-0"	7'-0"	4 1/2"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0 1/2"	HW-11		E131



- GENERAL NOTE**
1. GLAZING SHALL BE "LOW-E" INSULATED 1" ASSEMBLY, .50 U-VALUE, .25 SHGC OR BETTER.
 2. GLAZING USED IN DOORS, GLAZING WITHIN 18" OF THE FLOOR AND WITHIN 24" ARC OF A DOOR AND GLAZING SUBJECT TO HUMAN IMPACT SHALL BE FULLY TEMPERED.
 3. REFER TO FLOOR PLAN FOR LHRH SWING OR SLIDING.
 4. INTERIOR PAINT GRADE DOORS TO BE SOLID CORE W/ PAINT PER MANUFACTURER'S RECOMMENDATION.
 5. WINDOW SUBCONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING.

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REVISIONS

NO.	DESCRIPTION

MATERIALS

Stucco,
Paint_1

Expose existing
brick facade

Dark bronze anodized
aluminum storefront

Stucco,
Paint_1

Metal siding
infill panels

Stucco,
Paint_2

Clear glass windows
at new stair



VIEW FROM E. 6TH ST. LOOKING SOUTHEAST

MATERIALS

Stucco,
Paint_1

Repair existing windows
as needed, Paint_3



VIEW FROM MACLOVIO BARRAZA PARKWAY LOOKING NORTHEAST

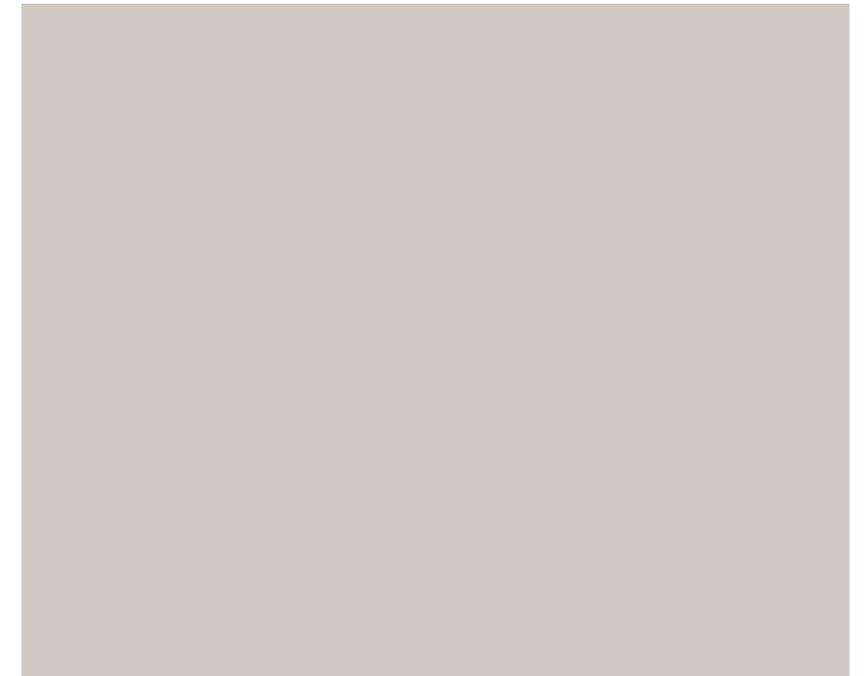
MATERIALS + COLORS



PAINT_3, DUNN EDWARDS DEA188 BLACK BAY



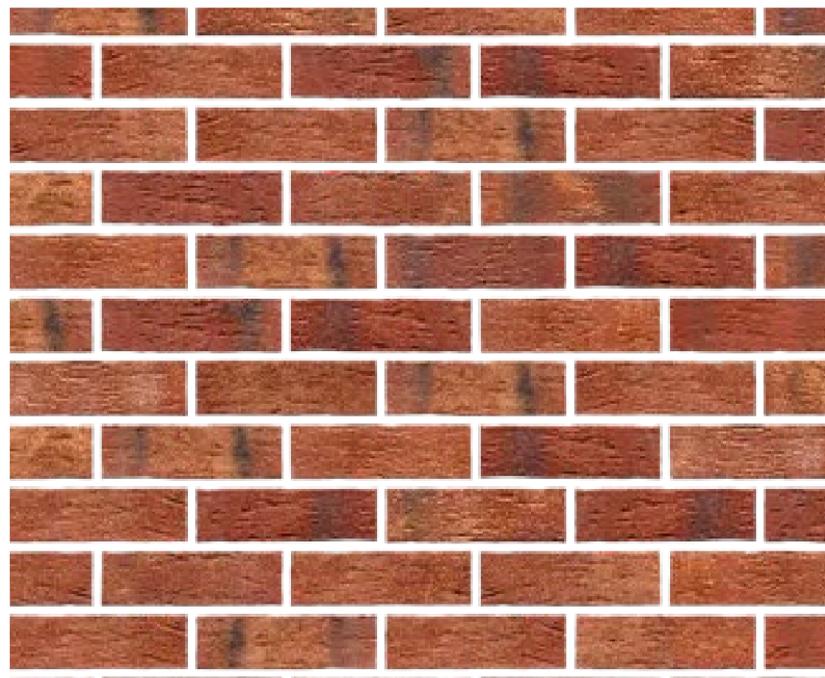
DARK BRONZE ANODIZED ALUMINUM
STOREFRONT, SUBDIVIDED



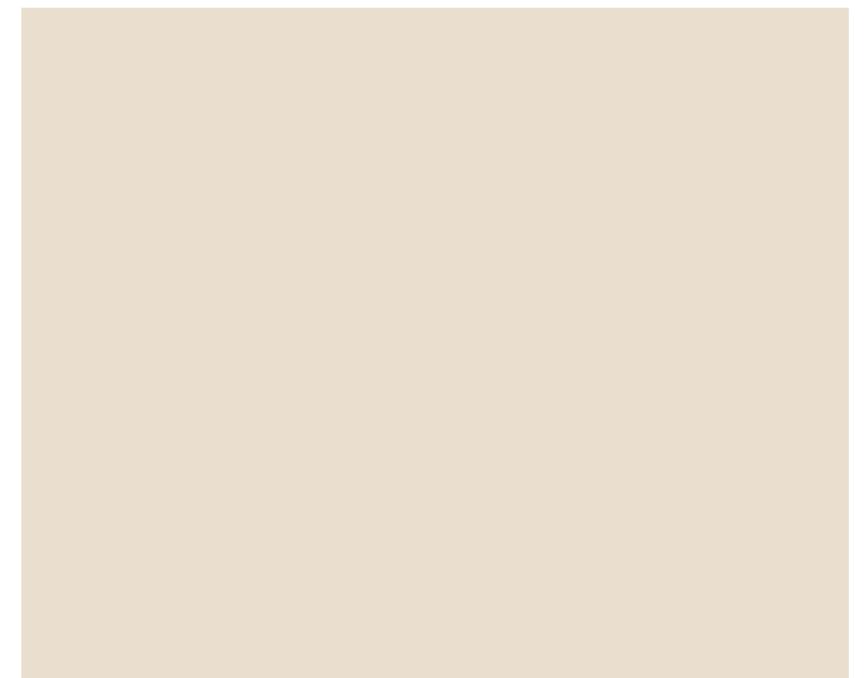
STUCCO, PAINT_2, WARM GRAY, LRV 40-60,
COMPLEMENTARY TO EXISTING TONES IN
DOWNTOWN AREA



METAL WALL PANELS: AEP SPAN NU WAVE 7/8"
DEEP CORRUGATED METAL PANELS, SOLID +
PERFORATED, COLOR: VINTAGE, LRV 20



EXISTING BRICK (TO BE EXPOSED)



STUCCO, PAINT_1, WARM OFF-WHITE, LRV 60-75,
COMPLEMENTARY TO EXISTING TONES IN
DOWNTOWN AREA