



WAREHOUSE BUILDING
7,745 SF

TOWER BUILDING
17,532 SF, 4 STORIES

DECO BUILDING
10,932 SF



VIEW FROM E. 6TH ST. LOOKING SOUTHEAST

PROJECT DESCRIPTION

Benjamin Supply Redevelopment | 440 N. 7th Avenue

Project Description

The Benjamin Supply project is an adaptive reuse and revitalization of a historic three-building commercial complex in Downtown Tucson, consisting of the Deco showroom building, the four-story concrete tower, and the adjacent warehouse structure. Benjamin Supply has long occupied the Deco building as its primary showroom. This project expands showroom functions into the historic tower, activating all four levels while preserving its defining concrete structural grid and interior mushroom columns. The deteriorated non-structural infill panels at the tower will be replaced with a high-performance wall system that maintains the original structural rhythm while clearly distinguishing new materials from historic construction. The warehouse building will be rehabilitated through removal of non-historic 1990s façade alterations, restoring the original brick exterior and divided-light windows. The space will be leased to complementary design-oriented businesses, creating a cohesive design center environment that supports Downtown commercial vitality. No additional square footage, height, or building footprint is proposed. Improvements include façade repair and restoration, parking lot reconfiguration to current standards, enhanced pedestrian circulation, added landscaping and shade, and upgraded lighting. The project emphasizes preservation, safety, long-term sustainability, and activation of underutilized historic space. The redevelopment honors the historic character of the property while positioning it for continued economic and community relevance in Downtown Tucson.

RNA DESIGN COMPLIANCE NARRATIVE

1. SCALE AND DEVELOPMENT TRANSITION

RNA Standard:

Proposed development shall respect the scale of adjacent properties and provide an orderly transition to differing scales.

Project Response:

No increase in building height, massing, or footprint is proposed. The Deco building, tower, and warehouse structures remain at their existing heights and volumes. The project preserves the established urban form and respects the scale of surrounding Downtown development.

The four-story tower, while being adaptively reused, retains its original structural frame and massing. No vertical or horizontal expansion is proposed. As such, the project maintains consistency with the established development pattern and does not introduce new scale impacts.

2. SETBACKS

RNA Standard:

New construction must be consistent with prevailing setbacks.

Project Response:

No changes to existing setbacks are proposed. All buildings remain in their current footprint and maintain established street edges. The historic relationship of the buildings to the public sidewalk is preserved.

3. SCALE-DEFINING ARCHITECTURAL ELEMENTS

RNA Standard:

New construction shall provide scale-defining architectural elements at the first two floor levels.

Project Response:

Although no new construction is proposed, the project enhances architectural definition at the pedestrian level by:

- Restoring façade elements on the Deco building
- Removing non-historic façade treatments on the warehouse to reveal original brick and divided-light windows
- Introducing glazing at the tower's northeast stair location to reveal interior mushroom columns
- These improvements reinforce architectural articulation and visual interest at the first two levels while preserving historic character.

RNA DESIGN COMPLIANCE NARRATIVE

4. GROUND FLOOR ACTIVATION

RNA Standard:

Commercial frontage shall provide increased floor-to-floor height and visible activity, with a minimum of 50% transparency at ground level.

Project Response:

The Deco building remains the primary public entry and showroom space. The tower's conversion to showroom use introduces active commercial use to all four levels.

The proposed glazing at the tower stair enhances visibility into the building. The ground level visibility is maintained.

The proposed warehouse remodel brings the building into compliance with more than 50% transparency at ground level.

5. FAÇADE ARTICULATION

RNA Standard:

A façade plane may not exceed 50 feet without articulation.

Project Response:

All buildings already contain architectural articulation through structural grids, brick detailing, window openings, and façade rhythms.

The tower's expressed concrete structural grid provides strong vertical and horizontal articulation. The removal of failing infill panels will retain this grid expression while inserting compatible contemporary materials.

The warehouse restoration reintroduces original brick detailing and divided-light windows, reinforcing façade rhythm.

6. PEDESTRIAN-SCALED LIGHTING

RNA Standard:

Façade design shall include pedestrian-scaled, glare-controlled exterior lighting.

Project Response:

Exterior lighting will be pedestrian-scaled, down-shielded, and glare-controlled. Existing lighting will be maintained at Deco building entry, Tower Entry and introduced at the new entries on the warehouse building.

The intent is to enhance safety and visibility while respecting Downtown's historic character.

RNA DESIGN COMPLIANCE NARRATIVE

7. VISIBLE AND HIGHLIGHTED ENTRANCES

RNA Standard:

Front doors shall be visible from the street and visually highlighted.

Project Response:

The Deco building continues to function as the primary public entrance and remains directly visible from the public sidewalk.

Enhanced lighting and improved pedestrian circulation will reinforce entry visibility. No entrances are relocated away from the street frontage.

8. HISTORIC CONTEXT

RNA Standard:

Exterior modifications shall complement the historic context and respect architectural integrity.

Project Response:

The project emphasizes preservation and restoration:

- Repairing and repainting the Deco façade
- Removing non-historic warehouse façade elements
- Retaining the tower's structural frame

New tower infill panels are clearly differentiated yet compatible in scale and proportion. No conjectural historic elements are introduced.

9. HEAT AND GLARE MITIGATION

RNA Standard:

Development shall shield adjacent properties and public areas from reflected heat and glare.

Project Response:

The proposed tower infill materials are matte-finish metal cladding designed to minimize glare. Glazing will be high-performance, low-reflectivity glass. Landscaping additions will further reduce heat island effects.

RNA DESIGN COMPLIANCE NARRATIVE

10. PARKING DESIGN

RNA Standard:

Safe and adequate vehicular parking areas designed to minimize pedestrian conflicts shall be provided.

Project Response:

The existing deteriorated parking lot will be formalized and upgraded to current standards. Improvements include:

- Clearly defined parking stalls
- Landscaped islands
- Improved pedestrian pathways
- Enhanced circulation patterns

These upgrades reduce conflicts between vehicles and pedestrians and improve overall safety.

11. SHADE FOR PEDESTRIANS

RNA Standard:

Adequate shade shall be provided for sidewalks and pedestrian pathways.

Project Response:

The project introduces additional landscaping and shade trees along pedestrian pathways and within the parking lot. These improvements enhance comfort and reinforce Downtown's walkable environment.

12. COLOR PALETTE

RNA Standard:

Colors may conform to Downtown context or be used expressively with rationale.

Project Response:

The Deco building will be repainted in a color palette consistent with its historic character and the Downtown context.

The tower's contemporary infill will use restrained, compatible materials that contrast subtly with the original concrete frame, clearly distinguishing new from historic without introducing discordant colors.

RNA DESIGN COMPLIANCE NARRATIVE

13. MATERIALS

RNA Standard:

New development shall use materials that relate to the traditional Downtown context.

Project Response:

Materials include:

- Repaired stucco
- Original brick restoration
- Preserved concrete structural frame
- Contemporary metal infill panels that respect existing grid proportions

The project balances traditional materials with compatible contemporary elements.

14. 24-HOUR ACTIVITY / MIXED USE

RNA Standard:

A mixture of retail, office, and residential uses is encouraged.

Project Response:

The project expands commercial activity by:

- Activating all four floors of the tower
- Introducing complementary design-oriented tenants in the warehouse
- Maintaining active showroom use in the Deco building

While residential use is not proposed, the project increases daytime and early evening commercial activity and strengthens Downtown's economic vitality.

RNA DESIGN COMPLIANCE NARRATIVE

15. PRIMARY ENTRIES FROM SIDEWALK

RNA Standard:

Primary public entries shall be accessed directly from a sidewalk.

Project Response:

The primary public entrance remains directly accessed from the public sidewalk along the street frontage. Pedestrian entry to the Deco building shall be encouraged by extending the entry to the sidewalk.

Pedestrian circulation improvements further strengthen the connection between public sidewalk and interior commercial space.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

STANDARD 1

A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Project Response:

The project maintains the commercial character of the Benjamin Supply complex. The Deco building continues to serve as the primary showroom and public entry. The four-story tower, historically used for storage, is being adaptively reused as showroom space, a compatible commercial function that does not require alteration of the building's structural framework, massing, or site configuration. No additions are proposed, and no changes to building footprint or height occur. The new use activates the structure while preserving its defining architectural characteristics and its role within the Downtown historic context.

STANDARD 2

The historic character of a property shall be retained and preserved.

Project Response:

The defining characteristics of the complex — including the Art Deco façade of the showroom building, the concrete structural grid and mushroom columns of the tower, and the original brick massing of the warehouse — are being retained and preserved.

The Deco building façade will undergo limited repair of deteriorated window moldings and localized stucco repair, followed by repainting consistent with its historic character.

The tower's primary character-defining feature — its expressed concrete structural grid — remains intact. The removal of failing ceramic block infill panels is necessary for safety and stabilization; however, the structural frame that defines the tower's historic identity remains unchanged.

The warehouse building will have non-historic 1990s stucco ornamentation removed to restore the original brick façade and divided-light window configuration, thereby strengthening the historic character of the property.

STANDARD 3

Changes that create a false sense of historical development shall not be undertaken.

Project Response:

The project does not introduce conjectural historic elements or replicate architectural features from other structures. New infill panels at the tower will be differentiated from the historic structure through contemporary metal cladding while maintaining the original structural grid expression.

The intent is not to recreate the historic ceramic block infill, but to clearly distinguish new from original construction in a manner consistent with preservation best practices.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

STANDARD 4

Changes that have acquired historic significance shall be retained and preserved.

Project Response:

There is no evidence that the 1990s façade modifications to the warehouse have acquired historic significance. Their removal restores the building closer to its earlier historic appearance and reinforces the district's architectural integrity. All original structural elements across the complex are retained.

STANDARD 5

Distinctive features, finishes, and construction techniques shall be preserved.

Project Response:

The project preserves:

- The concrete structural grid of the tower
- Interior concrete mushroom columns
- The Deco building's façade detailing
- The warehouse's original brick construction

The tower's interior mushroom columns will become more visible through proposed glazing at the northeast stair location, highlighting original construction techniques rather than obscuring them.

STANDARD 6

Deteriorated historic features shall be repaired rather than replaced where possible.

Project Response:

Where feasible, original materials are repaired in place. Deteriorated stucco and window moldings on the Deco building will be repaired rather than replaced wholesale.

The ceramic block infill at the tower has deteriorated beyond repair and presents safety concerns. Replacement is limited to the non-structural infill panels, while the historic concrete structural frame remains preserved. The new infill respects the original bay rhythm and proportions.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

STANDARD 7

Chemical or physical treatments that cause damage shall not be used.

Project Response:

Cleaning and repair of historic materials will utilize the gentlest means possible. No abrasive sandblasting or destructive cleaning methods are proposed.

STANDARD 8

Significant archeological resources shall be protected and preserved.

Project Response:

The project involves no excavation beyond surface parking improvements. Should any archeological resources be encountered during site work, appropriate mitigation measures will be undertaken in accordance with applicable regulations.

STANDARD 9

New additions or exterior alterations shall not destroy historic materials and shall be differentiated yet compatible.

Project Response:

No additions are proposed. Exterior alterations are limited to:

- Replacement of failing tower infill panels
- Introduction of glazing at the northeast stair location
- Removal of non-historic warehouse façade treatments

The new tower infill panels are clearly differentiated from the original concrete frame while maintaining the historic massing, scale, and structural rhythm.

The glazing at the stair is inserted within the existing structural opening and does not alter the concrete frame. It enhances transparency and allows the historic mushroom columns to be visible from the public realm.

SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION HISTORIC COMPLIANCE NARRATIVE

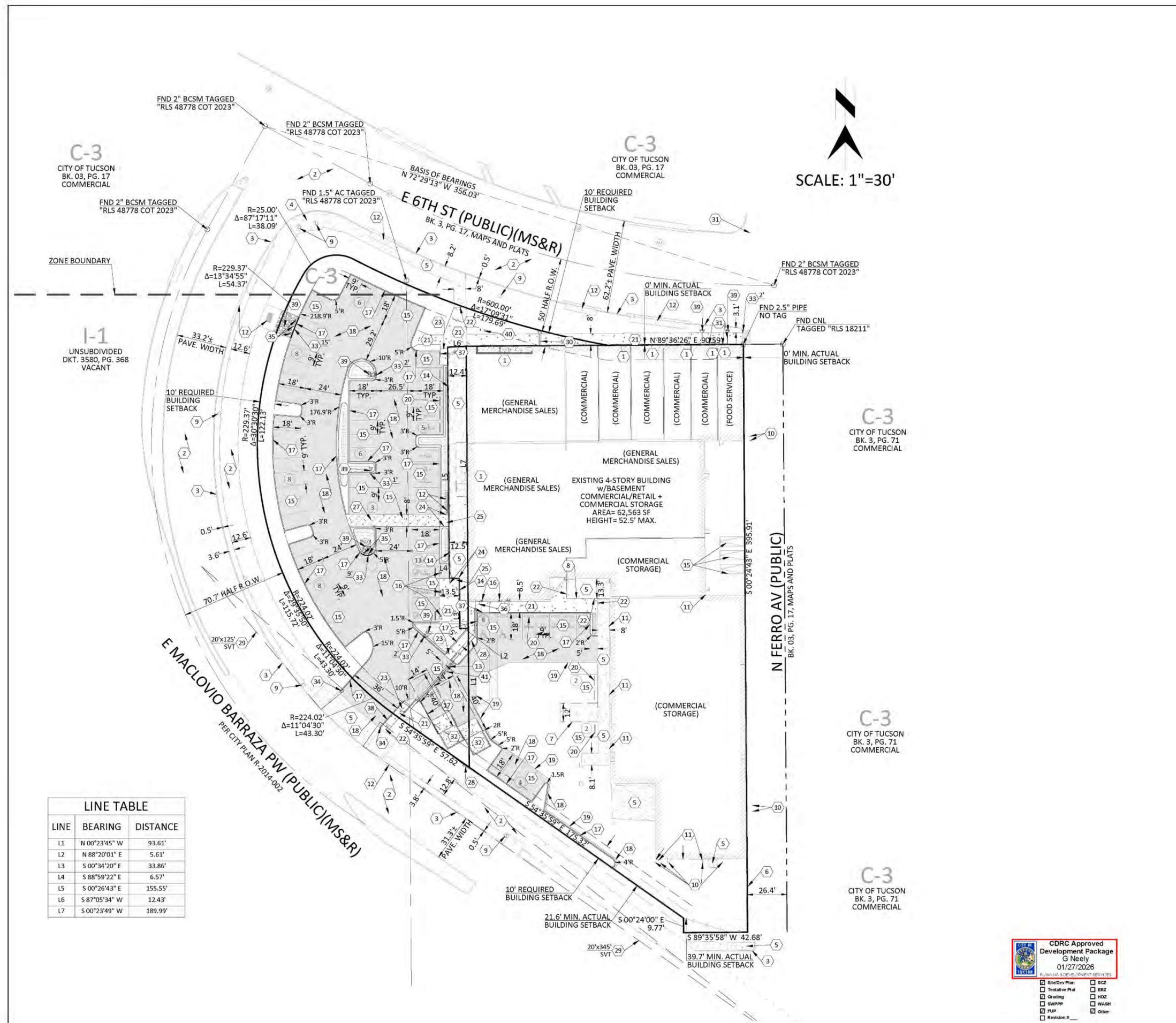
STANDARD 10

New work shall be reversible so that removal would not impair the historic property.

Project Response:

The proposed tower infill system is non-structural and attached within the existing concrete grid. If removed in the future, the essential structural form and integrity of the tower would remain intact.

Similarly, the glazing introduced at the stair occupies an existing opening and does not alter the structural framework, allowing future modification without damage to historic materials.



SCALE: 1"=30'

- KEYNOTES**
- PRIMARY BUILDING ENTRANCE.
 - EXISTING ASPHALT TO REMAIN.
 - EXISTING CURB TO REMAIN.
 - EXISTING CURB ACCESS RAMP TO REMAIN.
 - EXISTING CONCRETE/SIDEWALK TO REMAIN.
 - EXISTING FENCE TO REMAIN.
 - EXISTING WALL TO REMAIN.
 - EXISTING CANOPY/BUILDING OVERHANG TO REMAIN.
 - EXISTING LIGHT TO REMAIN.
 - EXISTING BOLLARD/POST TO REMAIN.
 - EXISTING ROOF DOWNSPOUT TO REMAIN.
 - EXISTING STORM DRAIN CATCH BASIN TO REMAIN.
 - NEW VEHICULAR ACCESS GATE. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - EXISTING HAND RAIL TO REMAIN.
 - NEW 4" WHITE PAINT STRIPE, 0.06" THICK, TRAFFIC RATED (TYP.).
 - NEW ACCESSIBLE SIGN AND POST. SEE DETAIL A, SHEET 6.
 - NEW 6" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - NEW 2.5" AC PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL B, SHEET 6.
 - SAWCUT A MINIMUM OF 12" INTO THE EXISTING PAVEMENT. REMOVE EXISTING ASPHALT, TACK AND JOIN.
 - NEW 6" WHEEL STOP (TYP.). SEE DETAIL C, SHEET 6.
 - NEW CONCRETE SIDEWALK PER PAG DETAIL 200. SEE PLAN FOR DIMENSIONS. 2% MAX. CROSS SLOPE; 5% MAX. LONGITUDINAL SLOPE.
 - CONNECT TO EXISTING SIDEWALK PER PAG DETAIL 203. REMOVE AND REPLACE EXISTING SIDEWALK AS NECESSARY TO MAINTAIN ADA COMPLIANCE.
 - NEW CONCRETE CURB ACCESS RAMP PER 2012 IBC, CHAPTER 11 AND ICC A117.1, SECTION 405, RAMPS. SEE DETAIL D, SHEET 6.
 - NEW ICC A117.1 SECTIONS 504 + 505 COMPLIANT RAILING FOR STAIRS. SEE DETAIL E, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - NEW STAIRS.
 - NEW ICC A117.1 SECTIONS 405 + 406 COMPLIANT RAILING FOR RAMPS. SEE DETAIL F, SHEET 6. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - NEW 6" CONCRETE PAVEMENT OVER 4" ABC. COMPACT ABC TO 100%. SEE DETAIL G, SHEET 6.
 - NEW WALL/FENCE PER SEPARATE PLAN AND PERMIT
 - SIGHT VISIBILITY TRIANGLE FOR PROPOSED DEVELOPMENT. SEE KEYNOTE FOR DIMENSIONS.
 - NEW SIDEWALK SCUPPER (TYPE 1) PER PAG DETAIL 204. CONNECT TO BUILDING DOWNSPOUT WHERE APPLICABLE.
 - NEW 4" TRENCH DRAIN. ACO K200 DRAIN OR APPROVED EQUAL. 8 LF TOTAL @ 0.5%.
 - NEW TRASH ENCLOSURE (SINGLE CONTAINER). SEE TSM SECTION 8-01.9.0 FOR MORE INFORMATION. OWNER/ARCHITECT TO PROVIDE MATERIALS AND FINISHES.
 - NEW CURB OPENING PER DETAIL H, SHEET 6. SEE KEYNOTE FOR WIDTH.
 - NEW CURB TERMINAL SECTION PER PAG DETAIL 121.
 - NEW POST BARRICADE (TYPE A) PER PAG DETAIL 106.
 - NEW PEDESTRIAN ACCESS GATE. OWNER/ARCHITECT TO PROVIDE MATERIAL AND FINISHES PER SEPARATE PLAN.
 - NEW 4" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE.
 - NEW 3" VERTICAL CURB (TYPE 2) PER PAG DETAIL 209. CONNECT TO EXISTING CURB PER PAG DETAIL 211, WHERE APPLICABLE. SEE DETAIL J, SHEET 6.
 - NEW GROUTED RIPRAP. SEE RIPRAP NOTES, SHEET 2. FOR DIMENSIONS, SEE DETAIL I, SHEET 7.
 - NEW SHORT TERM BICYCLE RACK. SEE RACK DETAIL N, SHEET 7. FOR RACK SPACING SEE DETAIL L, SHEET 7.
 - NEW 2' WIDE CONCRETE FLOW GUTTER PER DETAIL M, SHEET 6.

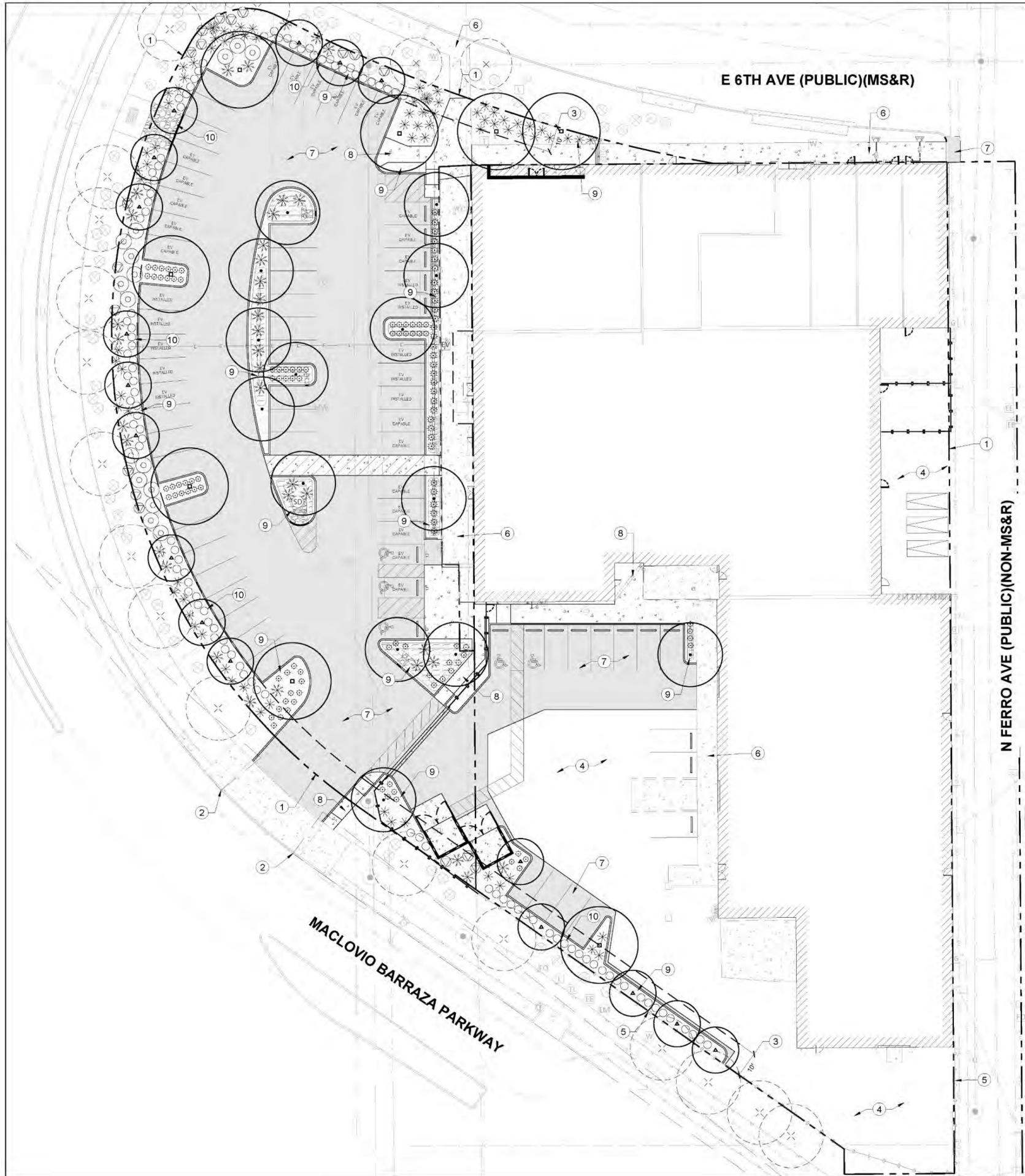
LINE TABLE

LINE	BEARING	DISTANCE
L1	N 00°23'45" W	93.61'
L2	N 88°20'01" E	5.61'
L3	S 00°34'20" E	33.86'
L4	S 88°59'22" E	6.57'
L5	S 00°26'43" E	155.55'
L6	S 87°05'34" W	12.43'
L7	S 00°23'49" W	189.99'

CDRC Approved Development Package
G Neely
01/27/2026
PLANNING & DEVELOPMENT SERVICES

<input checked="" type="checkbox"/> Site/Dev Plan	<input type="checkbox"/> GC2
<input type="checkbox"/> Tentative Plat	<input type="checkbox"/> ERZ
<input checked="" type="checkbox"/> Grading	<input type="checkbox"/> HDZ
<input type="checkbox"/> SWPPP	<input type="checkbox"/> WASH
<input type="checkbox"/> FUP	<input type="checkbox"/> Other
<input type="checkbox"/> Revision #	

<p>3948 E FORT LOWELL RD #111 TUCSON, AZ 85712</p> <p>520-785-1000 rickengineering.com</p> <p>SAN DIEGO ORANGE RIVERSIDE SACRAMENTO SAN LUIS OBISPO SANTA CLARITA PHOENIX TUCSON LAS VEGAS DENVER</p> <p>RICK</p> <p>PROJECT NO: 04-16/2025 DATE: 04/16/2025</p>	<p>520-785-1000 rickengineering.com</p> <p>3948 E FORT LOWELL RD #111 TUCSON, AZ 85712</p> <p>BENJAMIN SUPPLY A PORTION OF LOTS 2, 3, 6, 7, 10 AND 11 OF BLOCK 70 AND LOTS 1, 4, 5 AND 8 OF BLOCK 71 OF "CITY OF TUCSON" BOOK 3 MAPS & PLATS, PAGE 71 WITHIN THE SW 1/4 OF SECTION 12, T.14S., R.13E., G.8&S.R.M., CITY OF TUCSON, PIMA COUNTY, ARIZONA</p> <p>site plan</p> <p>TD-DEV-0425-00121</p> <p>ARIZONA 811 Call 811 or click Arizona811.com</p>
<p>DRAWING NO. _____</p> <p>SHEET NO. 3 OF 12</p>	



E 6TH AVE (PUBLIC)(MS&R)

N FERRO AVE (PUBLIC)(NON-MS&R)

MACLOVIO BARRAZA PARKWAY

LANDSCAPE LEGEND

Furnish and install landscape material per plans, details and specifications. All plant material to meet ANA specifications and be of sound health and appearance.

Trees

Species	Size	Qty
Chilopsis linearis 'Bubba' semi-seedless desert willow	25 gallon	17
Quercus fusiformis 'Joan Lionetti' live oak	65 gallon	14
Pistacia x 'Red Push' red push pistache	25 gallon	8

Existing tree to remain in place

Shrubs / Ground Covers

Species	Size	Qty
Simmondsia chinensis jojoba	5 gallon	16
Leucophyllum 'microburst' microburst texas sage	5 gallon	105
Calliandra 'mexicali rose' mexicali rose fairy duster	5 gallon	18

Cacti / Succulents

Species	Size	Qty
Hesperaloe parviflora 'stoplights' stoplights dwarf hesperaloe	5 gallon	86
Yucca rostrata beaked yucca	15 gallon	2
Dasyliion wheeleri desert spoon	5 gallon	37
Euphorbia antisyphilitica candleilla	5 gallon	32
Hesperaloe 'little giant' little giant hesperaloe	5 gallon	75

Existing shrub/accnt to remain in place, typ.

- Existing tree to remain in place
- Simmondsia chinensis jojoba
- Leucophyllum 'microburst' microburst texas sage
- Calliandra 'mexicali rose' mexicali rose fairy duster
- Hesperaloe parviflora 'stoplights' stoplights dwarf hesperaloe
- Yucca rostrata beaked yucca
- Dasyliion wheeleri desert spoon
- Euphorbia antisyphilitica candleilla
- Hesperaloe 'little giant' little giant hesperaloe
- Existing shrub/accnt to remain in place, typ.

- LANDSCAPE LEGEND NOTES:**
- Contractor must confirm ability to provide specified material or request alternates in writing within 90 days of commencement of contract. Failure to do so may result in delays in final approval of landscape.
 - Contractor must provide pictures of plant material to the Landscape Architect for approval as part of the submittal process. Pictures must have been taken within the last

- GROUND COVER MATERIAL LEGEND**
- Furnish and install all material per plans, details, and specs.
- type: screened rock
 - size: 3/8"
 - color: santa fe gold
 - depth: 2"
 - notes: install in all landscape planting areas as indicated on plans
 - type: rip rap
 - size: 4 - 8"
 - color: coronado brown
 - depth: 8"
 - notes: refer to civil paving plans, details and specifications

- # LANDSCAPE KEY NOTES**
- Property line
 - Sight visibility triangle
 - Street landscape border
 - Existing pavement
 - Existing fence/wall
 - Existing sidewalk
 - Pavement - refer to civil
 - Concrete sidewalk - refer to civil
 - Decorative rock typ. - all landscape areas
 - 30" vegetative screen

LANDSCAPE BORDER REQUIREMENTS

E 6th Ave (Major Street)
 10' street border @ 127' (1,270 sf)
 vegetative ground cover required 607 sf
 vegetative ground cover provided 650 sf
 trees required 4
 trees provided 4
 30" vegetative screen

E 6th Ave
 existing building on property line @ 162'
 no landscape border required

Maclovio Barraza Parkway (Major Street)
 10' street border @ 495' (4,950 sf)
 vegetative ground cover required 4,950 sf
 vegetative ground cover provided 2,475 sf
 trees required 15
 trees provided 15
 30" vegetative screen

Maclovio Barraza Parkway (Major Street)
 existing conditions @ 105'
 no landscape border required

East - none alley with zero lot line
 no landscape border required

PARKING TREE REQUIREMENTS

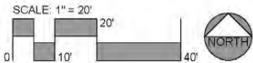
Parking spaces provided 67
 Trees required 17
 Trees provided 17+

LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE

- Site shall be maintained weekly to remove litter and debris.
- Review landscape plant materials to ensure and maintain proper growth, development and maturity to promote sustainable sites.
- Review tree staking: adjust stakes, tree ties and supports, so that tree trunks develop and strengthen to become self-supportive.
- Allow natural tree development and minimize tree pruning over first 24 months. Allow gradual lifting of canopy, not exceeding 1/3 to 2/3 canopy height ratio.
- No shearing on vegetation shall occur on site.**
- Program irrigation water schedules for establishment with initial weekly watering. After establishment adjusts to longer run times and duration between watering with seasonal conditions to develop deep root and sustainable periods of drought.
- Set water schedules to evapotranspiration (ET) historical databases allowing for auto control and adjustment with seasons.



- | | |
|--|---|
| <input checked="" type="checkbox"/> Site Dev Plan | <input checked="" type="checkbox"/> SCZ |
| <input checked="" type="checkbox"/> Tentative Plat | <input checked="" type="checkbox"/> ERZ |
| <input checked="" type="checkbox"/> Grading | <input checked="" type="checkbox"/> HDZ |
| <input checked="" type="checkbox"/> SWPPP | <input checked="" type="checkbox"/> WASH |
| <input checked="" type="checkbox"/> FUP | <input checked="" type="checkbox"/> Other |
| <input checked="" type="checkbox"/> Revision # | |



Refer to specifications for additional information on policies, performances, and products.

NO.	BY	DATE	REVISION



ARC STUDIOS
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landscape architecture, urban design, environmental services, irrigation design.

PROJECT NO: 01-24049
 DATE: 04/14/2025

DRAWN/DESIGNED BY: ARC
 CHECKED BY: ARC

BENJAMIN SUPPLY

LANDSCAPE PLAN



EXISTING SITE IMAGES



NORTHEAST CORNER FROM E. 6TH ST.



NORTH ELEVATION FROM E. 6TH ST.

EXISTING SITE IMAGES



NORTHWEST CORNER FROM E. 6TH ST.



WEST ELEVATION FROM MACLOVIO BARRAZA PARKWAY

EXISTING SITE IMAGES



SOUTHWEST CORNER FROM MACLOVIO BARRAZA PARKWAY



SOUTH ELEVATION FROM MACLOVIO BARRAZA PARKWAY

SITE VICINITY CONTEXT IMAGES



SITE VICINITY CONTEXT IMAGES



4



5



6

SITE VICINITY CONTEXT IMAGES



7



8



9

PROPOSED PROJECT DESIGN

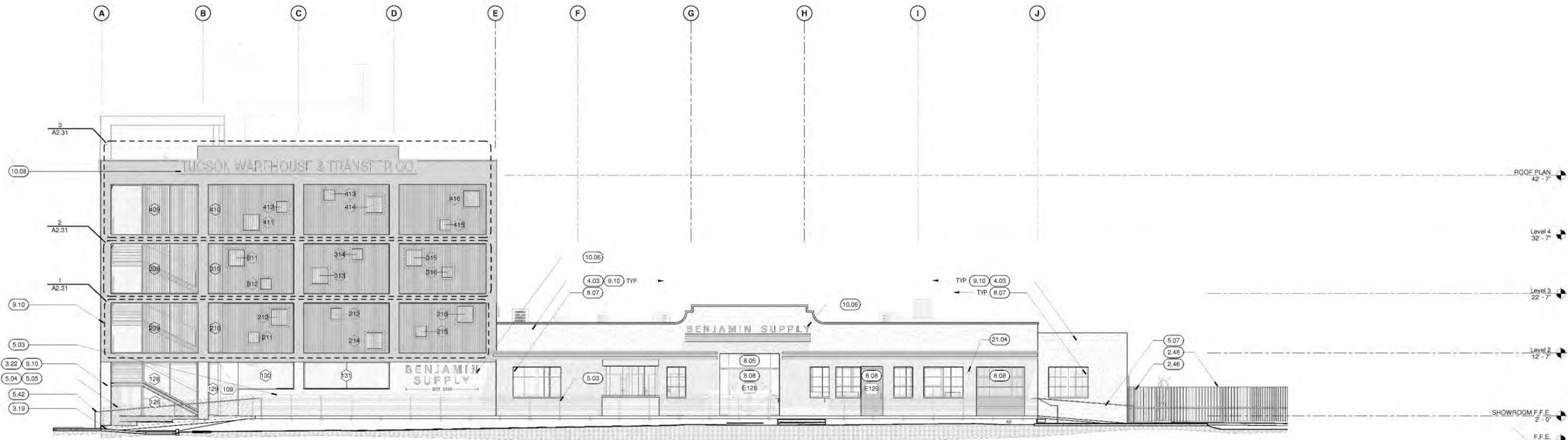


VIEW FROM E. 6TH ST. LOOKING SOUTHEAST

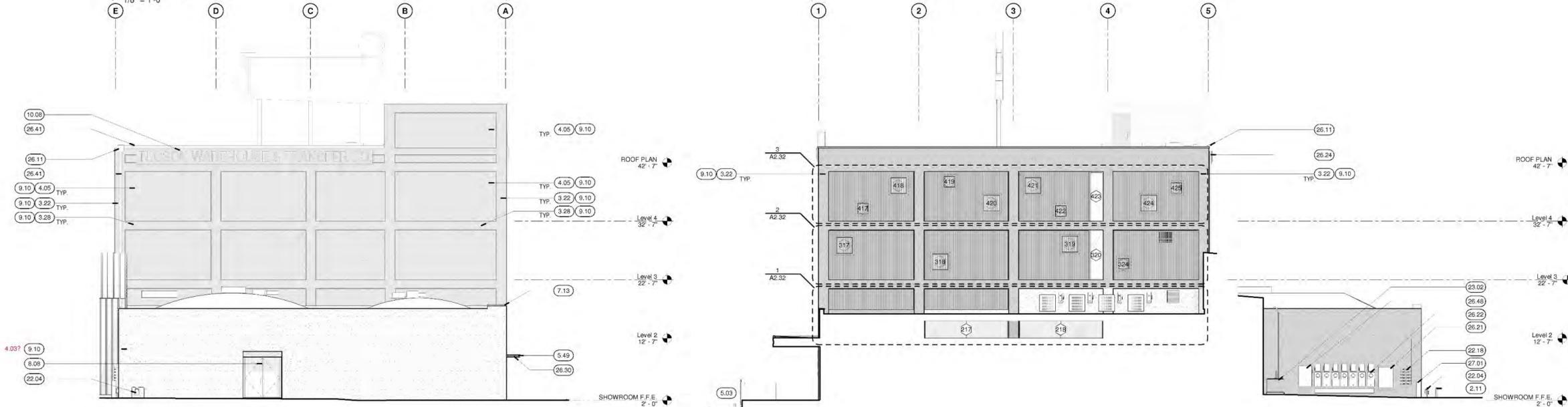
PROPOSED PROJECT DESIGN



VIEW FROM MACLOVIO BARRAZA PARKWAY LOOKING NORTHEAST

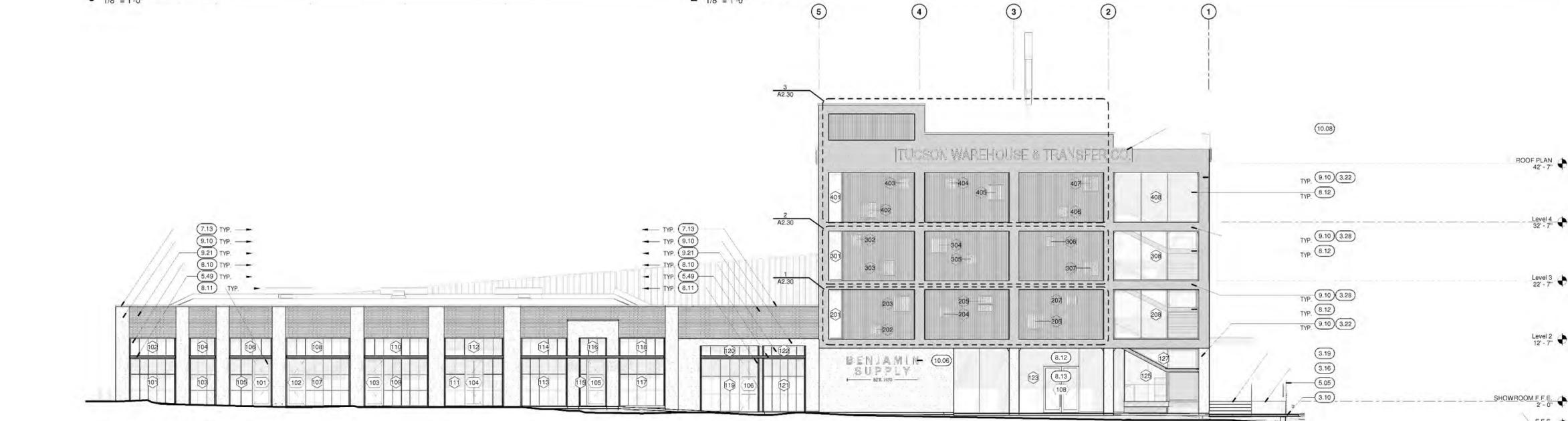


4 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"

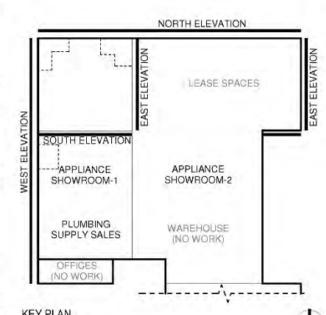
2 SOUTH ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

- GENERAL NOTE**
- 1 FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING NEW WORK. IMMEDIATELY NOTIFY DESIGNER OF ANY DISCREPANCIES OR OMISSIONS.
 - 2 SPOT ELEVATIONS ARE RELEVANT TO THE INTERIOR FINISH FLOOR ELEVATION AND DO NOT ACCOUNT FOR SITE SLOPE. CONTRACTOR TO VERIFY PRIOR TO COMMENCING NEW WORK.
 - 3 DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS FROM EXISTING COLUMNS ARE FROM CENTER OF STEEL COLUMN. WALLS ARE FROM EXISTING FACE OF WALL.
 - 4 COORDINATE ALL NECESSARY UG UTILITY WORK, TRENCHING AND TRENCH REQUIREMENTS WITH LOCAL UTILITY PROVIDER AND JURISDICTION.
 - 5 COORDINATE WITH THE ARCHITECTURAL ENLARGED ELEVATION + SECTION SHEETS AND STRUCTURAL DRAWINGS.

- KEYNOTES**
- 2.11 EXIST. TO REMAIN - BOLLARD/POST, REF. TO DEVELOPMENT PACKAGE
 - 2.46 NEW PEDESTRIAN ACCESS GATE, GATE TO REMAIN IN THE OPEN POSITION DURING HOURS OF OPERATION. SEE ELEVATION FOR ADDITIONAL DETAILS
 - 2.48 NEW METAL SECURITY FENCE, REFER TO SHEET A7.01 FOR DETAILS, CONTRACTOR TO PAINT NEW AND OLD TO MATCH, COORD. W/ ARCHITECT
 - 3.10 NEW CONCRETE EXTERIOR FLATWORK, REF. STRUCT. STANDARD GRAY LIGHT SWEAT FINISH, SLOPE AWAY FROM STRUCTURE. REF. TO DEVELOPMENT PACKAGE
 - 3.16 NEW CONCRETE EXTERIOR RAMP, STANDARD GRAY TEXTURE TO MATCH EXIST. ADJACENT FLATWORK, REF. TO DEVELOPMENT PACKAGE
 - 3.19 NEW CONCRETE EXTERIOR LANDING PAD, STANDARD GRAY LIGHT SWEAT FINISH, SLOPE AWAY FROM STRUCTURE, REF. TO STRUCT. REF. TO DEVELOPMENT PACKAGE
 - 3.22 EXIST. TO REMAIN - CONCRETE PERIMETER COLUMN
 - 3.28 EXIST. TO REMAIN - CONCRETE BEAM
 - 4.03 EXIST. TO REMAIN - BRICK WALL W/ STUCCO FINISH
 - 4.05 EXIST. TO REMAIN - HOT STRUCTURAL CLAY BLOCK INFILL W/ STUCCO FINISH
 - 5.03 EXIST. TO REMAIN - ORNAMENTAL CABLE RAILING + STEEL EDGE ANGLE (4"X6"X8" V.I.F.)
 - 5.04 NEW STEEL EDGE ANGLE, MATCH EXIST. (4"X6"X8" V.I.F.) INSTALL USING CONCRETE ANCHOR, PLUG WELD, GRIND SMOOTH
 - 5.05 REFURBISHED - ORNAMENTAL CABLE RAILING, PROVIDE REPLACEMENT PARTS TO MATCH EXIST. WELD TO NEW CONTINUOUS EDGE ANGLE
 - 5.07 NEW PIPE HANDRAIL, (TIE INTO EXIST. WHEN PRESENT) GRIND FLUSH/SMOOTH, EASE EDGES, PAINT W/ SELF ETCHING PRIMER, FINAL COLOR T.B.D., COORD. W/ ARCHITECT, REF. TO DEVELOPMENT PACKAGE
 - 5.42 NEW 1-1/4" PIPE HANDRAIL, MITERED JOINTS, GRIND FLUSH/SMOOTH, EASE EDGES, PAINT W/ SELF ETCHING PRIMER, FINAL COLOR T.B.D., COORD. W/ ARCHITECT, REF. TO STRUCT.
 - 5.49 NEW CANTYPAWNING, C-CHANNEL PERIMETER W/ PERFORATED CORRUGATED METAL INFILL, PAINT W/ SELF ETCHING PRIMER, FINAL COLOR T.B.D., COORD. W/ ARCHITECT, REF. TO STRUCT.
 - 7.13 NEW PARAPET CAP, 20' GA. PAINT/LOC. COLOR T.B.D., COORD. W/ ARCHITECT
 - 8.05 EXIST. ALUMINUM WINDOW SYSTEM TO REMAIN, CONTRACTOR TO PROTECT AS NEEDED, TYP., PRIME + PAINT IF NECESSARY, FINAL COLOR T.B.D., COORD. W/ ARCHITECT
 - 8.07 EXIST. TO REMAIN - STEEL DIVIDED LITE WINDOW SYSTEM, CONTRACTOR TO PROTECT AS NEEDED, TYP., PRIME + PAINT AS NECESSARY, FINAL COLOR T.B.D., COORD. W/ ARCHITECT - REPAIR AS NEEDED
 - 8.08 EXIST. DOOR TO REMAIN - CONTRACTOR TO REFURBISH, REPLACE ALL HARDWARE TO MATCH AS CLOSE AS POSSIBLE TO EXIST., REPLACE THRESHOLD + ALL WEATHER STRIPPING, PRIME AS NECESSARY, AND PAINT, FINAL COLOR T.B.D., COORD. W/ ARCHITECT (REPLACE CRACKED GLASS AS NECESSARY)
 - 8.10 NEW ALUMINUM WINDOW SYSTEM, SIMULATED DIVIDED LITE (SDL) (WEATHER SHIELD, VUE COLLECTION OR EQUAL), BLACK ANODIZED FINISH
 - 8.11 NEW ALUMINUM DOOR, SIMULATED DIVIDED LITE (SDL) (WEATHER SHIELD, VUE COLLECTION OR EQUAL) BLACK ANODIZED FINISH
 - 8.12 NEW ALUMINUM STOREFRONT SYSTEM, (ARCADIA AFG45 SERIES OR EQUAL) BLACK ANODIZED FINISH
 - 8.13 NEW ALUMINUM DOOR SYSTEM (ARCADIA NS120 NARROW STYLE OR EQUAL, BLACK ANODIZED FINISH, REFER TO SHEET AS 01
 - 9.10 NEW STUCCO SYSTEM, (SKIM COAT OF EXIST., ADHESIVE PRIMER), SQUARE CORNER PROFILE THROUGHOUT, PROVIDE STUCCO STOP AT ANY AND ALL LOCATIONS ABUTTING WINDOWS, DOORS, OR OTHER ARCHITECTURAL FEATURES, TEXTURE TO BE #00 SAND FINISH, PAINTED STUCCO
 - 9.21 SANDBLAST (E) BRICK, COORD. W/ ARCHITECT
 - 10.06 SIGNAGE PROVIDED BY OTHER, CONTRACTOR TO COORDINATE MOUNTING SUPPORTS AND ELECTRICAL REQUIRES W/ THE ARCHITECT PRIOR TO INSTALLATION (SEPARATE PERMIT)
 - 10.08 EXIST. TO REMAIN - BUILDING SIGNAGE, CONTRACTOR TO PAINT BACKGROUND PANEL, COLOR T.B.D., COORD. W/ ARCHITECT
 - 21.04 EXIST. TO REMAIN - FIRE BELL
 - 22.04 EXIST. TO REMAIN - GAS METER
 - 22.18 NEW SUB WATER METER MANIFOLD, COORD. W/ PLUMBING
 - 23.02 EXIST. TO REMAIN - MECHANICAL CONDENSER, CONTRACTOR TO PROTECT UNIT AND ASSOCIATED POWER SUPPLY - LINESETS DURING CONSTRUCTION
 - 25.11 EXIST. TO REMAIN - ELECTRICAL PULL BOX, REF. TO ELEC.
 - 25.21 NEW CT CABINET, COORD. W/ SERVICE PROVIDER, REF. TO ELEC.
 - 25.22 NEW ELECTRICAL METER BANK, COORD. W/ SERVICE PROVIDER, REF. TO ELEC.
 - 25.24 EXIST. TO REMAIN - SURFACE MOUNTED METALLIC ELECTRICAL CONDUIT, FEEDERS (W/IE) TO BE SALVAGED AND USED FOR FUTURE SCOPE, REF. TO ELEC.
 - 25.30 NEW HELIX OUTDOOR STRIP LIGHT, - COORD. W/ ELECTRICAL FOR LUMENS PER LF, 300K CORE - RAPS - SURFACE MOUNT EXTRUDED ALUMINUM MOUNTING CHANNEL W/ FROSTED LENS, PROVIDE DIMMER, COLOR T.B.D. - COORD. W/ ARCHITECT FOR DETAILING, REF. TO ELECTRICAL
 - 26.41 EXIST. TO REMAIN - SURFACE MOUNTED METALLIC ELECTRICAL CONDUIT
 - 26.48 NEW ELECTRICAL DISCONNECT, REF. TO ELEC.
 - 27.01 EXIST. COMMUNICATIONS PEDESTAL, COORD. CONN. W/ SERVICE PROVIDER



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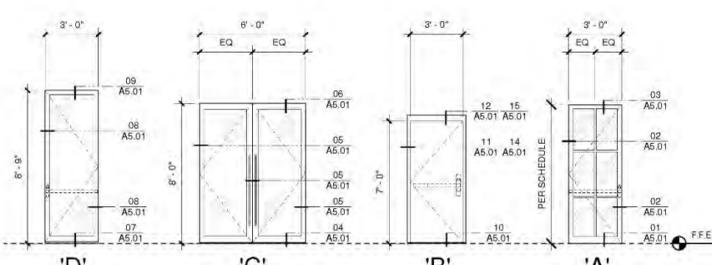
REVISIONS

HARDWARE SCHEDULE

- HW-1 EXTERIOR ENTRANCE (SDL)**
 - DALLAS LEVER HANDLE EACH SIDE WITH LOCKBOX BY DOOR MANUFACTURER
 - PANIC EXIT DEVICE WITH ENTRY LEVER (REFER TO DOOR SCHEDULE)
 - OFFSET PIVOT HINGE
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH INTEGRAL WEATHER SWEEP SURFACE MOUNTED CLOSER, COLOR TO MATCH DOOR
 - WEATHER STRIPPING
- HW-2 EXTERIOR EGRESS**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY LEVER
 - MORTISE LOCK SET / SELF LATCHING
 - BALL-BEARING MORTISE HINGE
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH SMOKE SEAL WHERE REQUIRED
 - SURFACE MOUNTED CLOSER (SELF-CLOSING)
 - WEATHER STRIPPING
- HW-3 EXTERIOR ENTRANCE**
 - LADDER PULL EACH SIDE WITH KEYPED ENTRY FLUSH BOLT AT SECONDARY LEAF (TOP AND BOTTOM)
 - 1/2" ADJUSTABLE THRESHOLD MOUNT BOTTOM PIVOT SET
 - CONCEALED OVERHEAD CLOSER
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH INTEGRAL WEATHER SWEEP
 - WEATHER STRIPPING
 - SIGNAGE TO BE POSTED ABOVE DOOR WHICH STATES THE FOLLOWING: "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE OCCUPIED"
- HW-4 EXTERIOR EGRESS**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY
 - MORTISE LOCK SET W/ DEADBOLT / SELF LATCHING
 - MORTISE CONCEALED CONTINUOUS GEARED HINGE
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH INTEGRAL WEATHER SWEEP
 - WEATHER STRIPPING
- HW-5 INTERIOR GLASS DOOR**
 - LADDER PULL EACH SIDE, EMTEX OR EQUAL, CLR EUROPEAN HYDRAULIC BOTTOM PATCH FITTING PIVOT HINGE, SELF-CENTERING, CLR EUROPEAN TOP PATCH FITTING, FINISH AND HOLD-OPEN FUNCTION
 - ADA-COMPLIANT HALF SADDLE THRESHOLD
 - FLOOR STOP
- HW-6 INTERIOR DOOR**
 - KEYED ENTRY LEVER
 - MORTISE LOCK SET / SELF LATCHING
 - BALL-BEARING MORTISE HINGE
 - SURFACE MOUNTED CLOSER (SELF-CLOSING)
 - WEATHER STRIPPING
 - FLOOR STOP
- HW-7 INTERIOR DOOR**
 - LEVER HANDLE EACH SIDE WITH PRIVACY LOCK FUNCTION, EMTEX OR EQUAL
 - BALL-BEARING MORTISE HINGE, SQUARE CORNER
 - FLOOR STOP
 - *CUT-IN LITE WITH 1/2" GLASS, RABBETED IN WITH WOOD STOP (REFER TO DOOR ELEVATION SCHEDULE)
- HW-8 INTERIOR RESTROOM DOOR**
 - LEVER HANDLE EACH SIDE, PRIVACY MORTISE LOCK WITH INDICATOR, EMTEX OR EQUAL
 - BALL-BEARING SELF-CLOSING MORTISE HINGES, SQUARE CORNER
 - FLOOR STOP
- HW-9 INTERIOR HM DOOR**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY LEVER
 - MORTISE LOCK SET / SELF LATCHING
 - BALL-BEARING MORTISE HINGES
 - ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD WITH SMOKE SEAL WHERE REQUIRED
 - SURFACE MOUNTED CLOSER (SELF-CLOSING)
 - FLOOR STOP
- HW-10 BYPASS DOOR**
 - SLIDING DOOR HARDWARE WITH SOFT CLOSE FUNCTION, EMTEX OR EQUAL
 - NARROW MODERN RECTANGULAR MORTISE PULL WITH PASSAGE FUNCTION AND INTEGRATED EDGE PULL
- HW-11 EXISTING DOOR (NO NEW HARDWARE)**
 - EXISTING PANIC EXIT DEVICE
 - EXISTING ENTRY HARDWARE
 - EXISTING LOCKSET
 - EXISTING HINGES
 - EXISTING ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD
 - EXISTING CLOSER
 - EXISTING WEATHER STRIPPING
- HW-12 EXISTING DOOR (NEW HARDWARE)**
 - PANIC EXIT DEVICE WITH KEYPED ENTRY LEVER
 - SURFACE MOUNTED CLOSER
 - FLUSH BOLT AT DOUBLE DOOR CONDITION, WHERE APPLICABLE
 - EXISTING LOCKSET
 - EXISTING HINGES
 - EXISTING ADA-COMPLIANT ALUMINUM LOW PROFILE THRESHOLD
 - NEW SELF CLOSER
 - NEW WEATHER STRIPPING

EXTERIOR DOOR SCHEDULE- REFER TO PLAN FOR LHRH SWING

DOOR TAG	LOCATION	ELEVATION	WIDTH	HEIGHT	FRAME THICKNESS	FRAME MATERIALS	DOOR STYLE / MATERIAL	THICKNESS	SWING	THRESHOLD	HARDWARE	COMMENTS	DOOR TAG
101	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SDL	2.38"	PER PLAN	0'-0-1/2"	HW-1		101
102	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SDL	2.38"	PER PLAN	0'-0-1/2"	HW-1		102
103	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SDL	2.38"	PER PLAN	0'-0-1/2"	HW-1		103
104	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SDL	2.38"	PER PLAN	0'-0-1/2"	HW-1		104
105	EXTERIOR	A	3'-0"	8'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SDL	2.38"	PER PLAN	0'-0-1/2"	HW-1		105
106	EXTERIOR	A	3'-0"	9'-0"	4 1/4"	ALUMINUM	WEATHER SHIELD VUE 7/8" BEVELED SDL	2.38"	PER PLAN	0'-0-1/2"	HW-1	*FRONTSIDE PANIC	106
107	EXTERIOR	B	2'-0"	7'-0"	4 3/4"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0-1/2"	HW-2	1-1/2 HR FIRE RATING	107
108	EXTERIOR	C	6'-0"	8'-0"	4 1/2"	ALUMINUM	*ARCADIA AFG451	1.34"	PER PLAN	0'-0-1/2"	HW-3	THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE OCCUPIED	108
109	EXTERIOR	D	3'-0"	8'-11"	4 1/4"	ALUMINUM	*ARCADIA AFG451	1.34"	PER PLAN	0'-0-1/2"	HW-4		109
124	EXTERIOR	B	2'-0"	7'-0"	3 3/4"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0-1/2"	HW-2		124
127	EXTERIOR	B	3'-0"	7'-0"	4 3/4"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0-1/2"	HW-2		127
E128	EXTERIOR	N/A	7'-0"	7'-11"	4 1/2"	ALUMINUM	DOUBLE ALUMINUM STOREFRONT	1.34"	PER PLAN	0'-0-1/2"	HW-12	EXISTING DOOR	E128
E129	EXTERIOR	N/A	3'-4"	8'-0"	4 1/2"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0-1/2"	HW-12	EXISTING DOOR	E129
E130	EXTERIOR	B-SM	3'-0"	7'-0"	4 1/2"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0-1/2"	HW-11	EXISTING DOOR	E130
E131	EXTERIOR	B-SM	3'-0"	7'-0"	4 1/2"	H.M.	H.M. PAINT GRADE	1.34"	PER PLAN	0'-0-1/2"	HW-11	EXISTING DOOR	E131



- GENERAL NOTE**
1. GLAZING SHALL BE LOW-E INSULATED 1" ASSEMBLY .50 U-VALUE, 25 SHGC OR BETTER.
 2. GLAZING USED IN DOORS, GLAZING WITHIN 18" OF THE FLOOR AND WITHIN 24" ARC OF A DOOR AND GLAZING SUBJECT TO HUMAN IMPACT SHALL BE FULLY TEMPERED.
 3. REFER TO FLOOR PLAN FOR LHRH SWING OR SLIDING.
 4. INTERIOR PAINT GRADE DOORS TO BE SOLID CORE W/ PAINT PER MANUFACTURER'S RECOMMENDATION.
 5. WINDOW SUBCONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO ORDERING.

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REVISIONS

NO.	DESCRIPTION

BENJAMIN SUPPLY - REMODEL
440 N. 7TH AVE., TUCSON, AZ 85705

DOOR DETAILS + SCHEDULE

A5.01

MATERIALS

Stucco,
Paint_1

Expose existing
brick facade

Dark bronze anodized
aluminum storefront

Stucco,
Paint_1

Metal siding
infill panels

Stucco,
Paint_2

Clear glass windows
at new stair



VIEW FROM E. 6TH ST. LOOKING SOUTHEAST

MATERIALS

Stucco,
Paint_1

Repair existing windows
as needed, Paint_3



VIEW FROM MACLOVIO BARRAZA PARKWAY LOOKING NORTHEAST

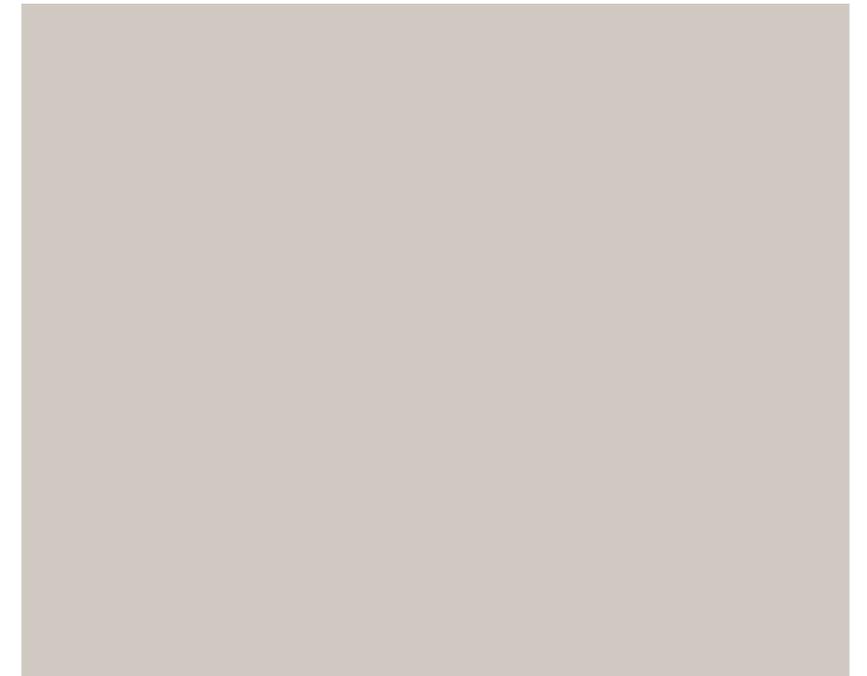
MATERIALS + COLORS



PAINT_3, DUNN EDWARDS DEA188 BLACK BAY



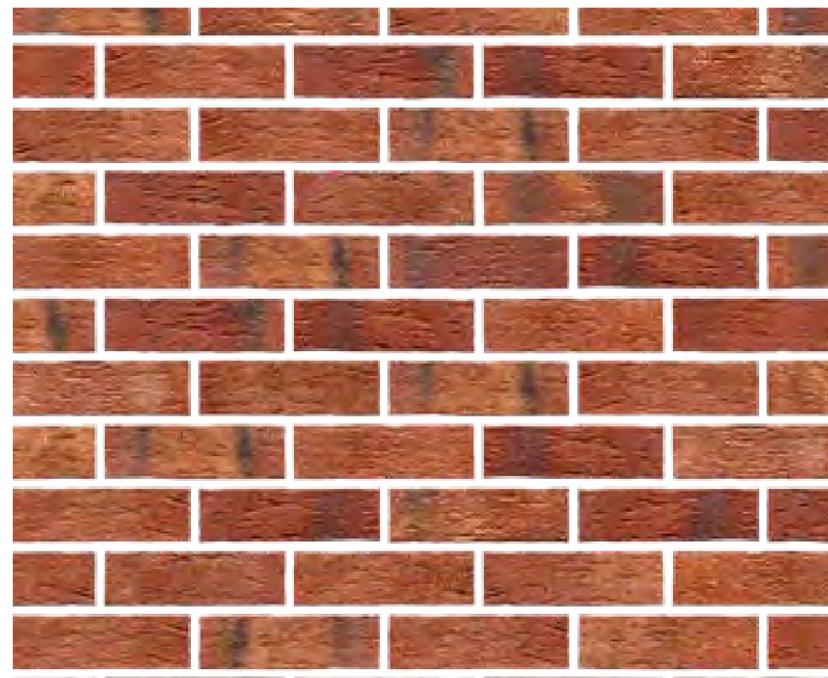
DARK BRONZE ANODIZED ALUMINUM
STOREFRONT, SUBDIVIDED



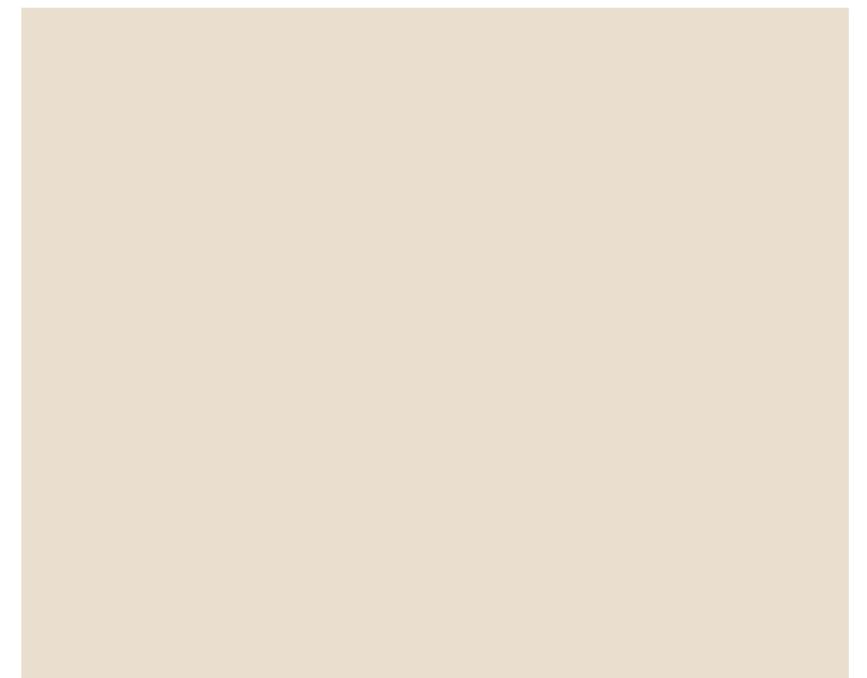
STUCCO, PAINT_2, WARM GRAY, LRV 40-60,
COMPLEMENTARY TO EXISTING TONES IN
DOWNTOWN AREA



METAL WALL PANELS: AEP SPAN NU WAVE 7/8"
DEEP CORRUGATED METAL PANELS, SOLID +
PERFORATED, COLOR: VINTAGE, LRV 20



EXISTING BRICK (TO BE EXPOSED)



STUCCO, PAINT_1, WARM OFF-WHITE, LRV 60-75,
COMPLEMENTARY TO EXISTING TONES IN
DOWNTOWN AREA