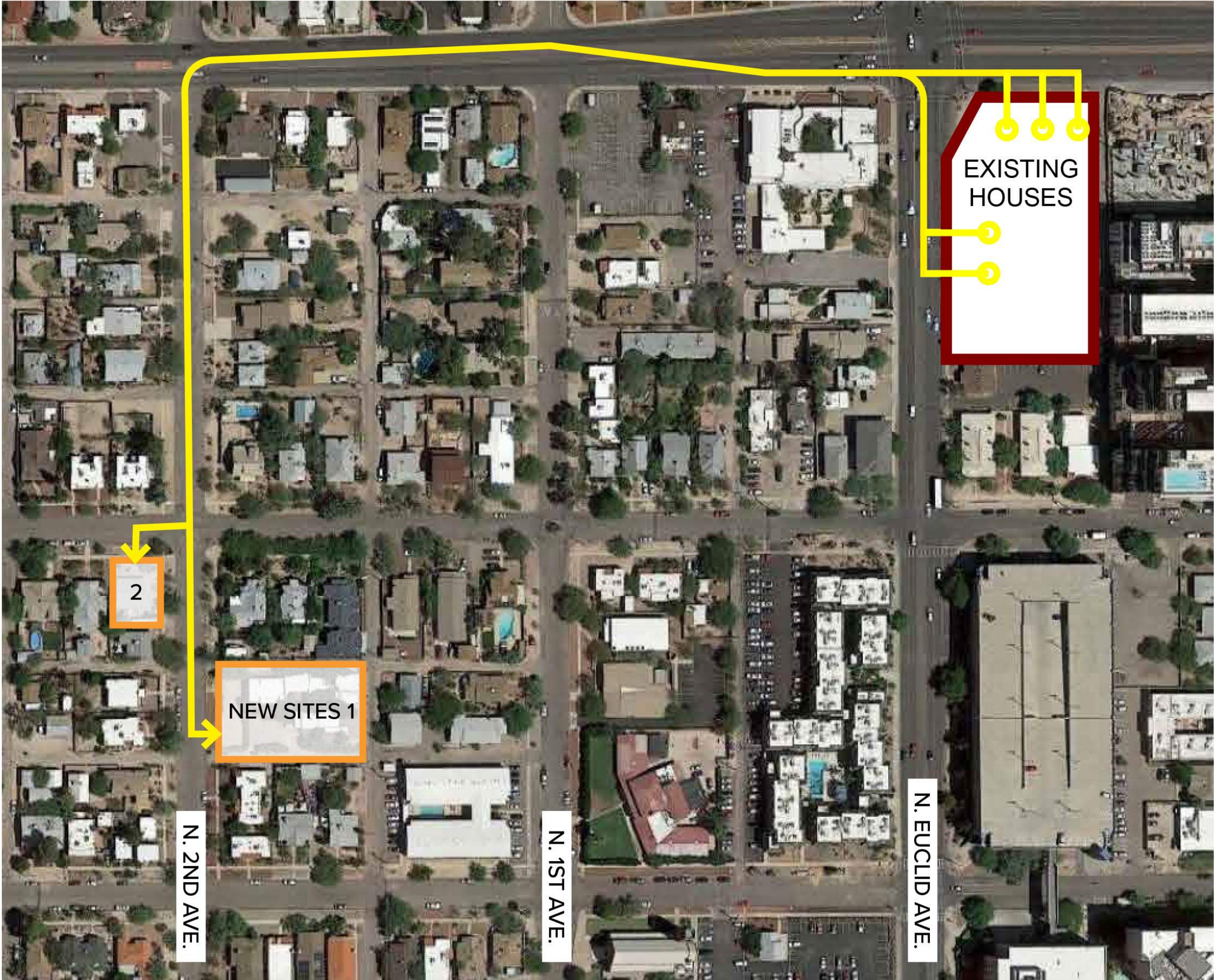


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CAPSTONE COLLEGIATE COMMUNITIES / JJSC LLC

EUCLID AND SPEEDWAY

HISTORICAL HOUSES RELOCATION PROJECT



GENERAL NOTES - RELOCATION

PROCEDURE FOR RELOCATION
THE PROCESS OF MOVING WILL BE ACCOMPLISHED IN A SEQUENCE BASED ON THE NEW LOCATIONS FOR EACH HOUSE (TO BE DETERMINED).

THE INITIAL STEP REQUIRES MINOR EXCAVATION AND GRADING AROUND EACH HOUSE TO FACILITATE ACCESS FOR PLACING STEEL I-BEAMS UNDER THE HOUSE. NOTCHES WILL BE CUT IN THE STEM WALLS TO ALLOW FOR THE INSERTION OF STEEL BEAMS. THE BEAMS ARE THEN SUPPORTED BY A SECOND SET OF BEAMS THAT ARE FASTENED TOGETHER TO CREATE A SOLID PLATFORM BASE UNDER EACH HOUSE. THE HOUSES WILL BE LIFTED FROM BELOW AT THE BASE OF THE MAIN SILL PLATE AND FLOOR JOINTS, SHIMMED AS REQUIRED. THE STEEL PLATFORM BASE IS THEN LIFTED AND ATTACHED TO A TRUCK FOR THE ACTUAL MOVE. IN CASES WHERE THERE IS A VENEER OF TUFA OR COBBLESTONE, THIS WILL BE REMOVED, OR IF THE STEM WALL IS STRUCTURAL, THE TUFA OR COBBLESTONE STEM WALL WILL BE DISASSEMBLED AND RELOCATED.

AS NOTED BELOW, IN SOME CASES THE PORCH ROOFS WILL BE REMOVED FROM THE "MAIN BLOCK" OF THE HOUSE AND THE MATERIALS SALVAGED FOR POTENTIAL REUSE. IN OTHER CASES, THE PORCHES ARE INTEGRAL TO THE PREDOMINANT ROOF STRUCTURE AND WILL BE SUPPORTED WITH STEEL BRACING INTEGRATED WITH THE STEEL BASE.

NON-HISTORIC ADDITIONS WILL BE REMOVED AND THOSE WALL SECTIONS RESTORED TO THEIR ORIGINAL APPEARANCE AS PART OF THE REHABILITATION.

MOVE ROUTE
IN GENERAL, THE HOUSES WILL BE TOWED FROM THEIR CURRENT SITE ONTO EITHER SPEEDWAY OR EUCLID AND MANEUVERED TO PROCEED WEST ON SPEEDWAY. THIS WILL REQUIRE TEMPORARY BLOCKING OF TRAFFIC AND LIKELY TEMPORARY RELOCATION OF STREETLIGHTS. THE ROUTE WILL TURN SOUTH ON SECOND AVENUE FOR TWO BLOCKS BEFORE ARRIVING AT THE NEW SITE. SOME TRIMMING OF TREES WILL BE REQUIRED, AS WELL AS ALL CARS PROHIBITED FROM PARKING ON THE STREET. THE MOVE(S) ARE EXPECTED TO OCCUR OVERNIGHT, OVER A FIVE-WEEK PERIOD. THE EXACT SCHEDULE WILL BE DETERMINED VIA CITY ROW USE PERMIT PROCESS.

PREPARATION WORK FOR NEW LOCATION
NEW FOOTINGS WILL BE CONSTRUCTED PRIOR TO THE MOVE. FOUNDATIONS/STEM WALLS WILL THEN BE BUILT UP TO THE BASE OF EACH HOUSE SO THEY CAN BE SET IN PLACE. FOUNDATION SHEATHING WILL OCCUR AS PART OF THE REHABILITATION, AS NOTED BELOW. AT THE 928 N. SECOND AVENUE SITE, AN EXISTING RETAINING WALL WILL NEED TO BE REMOVED AND THE LAND GRADED TO ALLOW ACCESS FOR THE HOUSES. THE SITE WILL NEED TO BE REGRADED, STABILIZED AND COMPACTED. THE RETAINING WALL WILL NEED TO BE RECONSTRUCTED. SPECIFICS ON WORK REQUIRED FOR THE MOVE OF EACH HOUSE ARE OUTLINED IN THE COMING PAGES.

EXTERIOR REHABILITATION OF HOUSES
THE MOVE PROCEDURE WILL REQUIRE REMOVAL OF CERTAIN FEATURES, NOTABLY PORCHES AND OTHER PROJECTIONS, THAT ARE NOT INTEGRAL TO THE STRUCTURAL FRAME OF THE HOUSE.


THERE ARE ALSO CERTAIN GENERAL CONDITIONS PERTAINING TO THE MOVE PROCEDURE. WINDOWS SHALL BE CONSIDERED TO BE PART OF THE PRIMARY STRUCTURE AND WILL BE MOVED AS PART OF THE MAIN BLOCK. THE WINDOWS WILL BE BOARDED WITH 1/2" OSB PRIOR TO THE MOVE FOR PROTECTION AND STABILITY. CRACKED OR BROKEN GLASS WILL BE REPLACED AS NEEDED AFTER THE MOVE. PORCH FLOORS AND STAIRS THAT ARE SCORED CONCRETE WILL NOT BE MOVED, BUT WILL BE REPLICATED TO MATCH THE ORIGINAL MATERIAL. ALL ROOFS WILL BE MOVED WITH THE HOUSE, BUT HOUSES MAY NEED NEW ROOF SHEATHING TO BE APPLIED AT THE NEW LOCATION. THE NEW SITE WILL BE FENCED FOR SECURITY, TYPICAL OF ANY CONSTRUCTION SITE.

SEE PLANS AND ELEVATIONS FOR THE SPECIFIC ARCHITECTURAL FEATURES OF THE HOUSES TO BE RESTORED/REPAIRED ON EACH HOUSE IN ORDER TO RETAIN THE INTEGRITY OF THE HISTORIC APPEARANCE.

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NUMBER	SHEET NAME	HP REVIEW		
00 GENERAL				
G0.01	SHEET INDEX			
A3.51	STREET ELEVATIONS			
01 CIVIL				
C1.01	SITE PLAN			
02 LANDSCAPE				
L01	LANDSCAPE GENERAL NOTES			
L02	PLANTING PLAN			
L03	PLANTING DETAILS			
L04	IRRIGATION PLAN			
L05	IRRIGATION DETAILS			
L06	WATER HARVESTING PLAN			
04 ARCHITECTURAL				
A2.01	1036 - FLOOR PLANS AND SCHEDULES			
A2.02	812 - FLOOR PLANS AND SCHEDULES			
A2.03	814 - FLOOR PLANS AND SCHEDULES			
A2.04	818 - FLOOR PLANS AND SCHEDULES			
A3.01	1036 - RELO ELEVATIONS			
A3.02	812 - RELO ELEVATIONS			
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A3.06	928 - EXISTING ELEVATIONS			
A7.21	1036 - DETAILS			
A7.22	812 - DETAILS			
A7.22A	812 - DETAILS			
A7.23	814 - DETAILS			
A7.24	818 - DETAILS			
05 CIVIL				
C1.01a	SITE PLAN - 548			
06 LANDSCAPE				
L01a	LANDSCAPE PLAN - 548			
07 ARCHITECTURAL				
A2.05	1040-1042 - FLOOR PLANS AND SCHEDULES			
A3.05	1040-1042 - RELO ELEVATIONS			
A7.25	1040-1042 - DETAILS			

925 N Jacobus

**Approved - Historic**
Date: 11/14/2025
Case #SD-0723-00076 and SD-0824-00078
Permit #TC-RES-0825-04240

Desiree Aranda

Approved as noted: (1)The openings around the stone foundation shall be natural edge; (2) The vents shall be centered under the window assembly per the approved plans reviewed under Historic sub-record: SD-0824-00078.

**Reviewed for Site Engineering Code Compliance**
MContre1
11/12/2025

**REVIEWED FOR BUILDING CODE COMPLIANCE**
K. Van Karsen
11/10/2025

**Zoning Approval Building Plan**
LShamis1
11/10/2025
PLANNING & DEVELOPMENT SERVICES

HR-2: Relocate historic home from 818 E Speedway Blvd to 925 N Jacobus Av; TD-DEV-0723-00304 SD-0624-00061.

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38 NORTHWEST DAVIS, SUITE 300
PORTLAND, OR 97209
503.245.7100
1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600
1014 HOWARD STREET
SAN FRANCISCO, CA 94103
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TUCSON SPEEDWAY HISTORICAL HOUSES RELOCATION

TUCSON, AZ
Capstone Collegiate Communities/JJSC LLC

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SHEET INDEX

CONCEPT DESIGN

DATE	PROJECT NUMBER
04/09/2024	184170

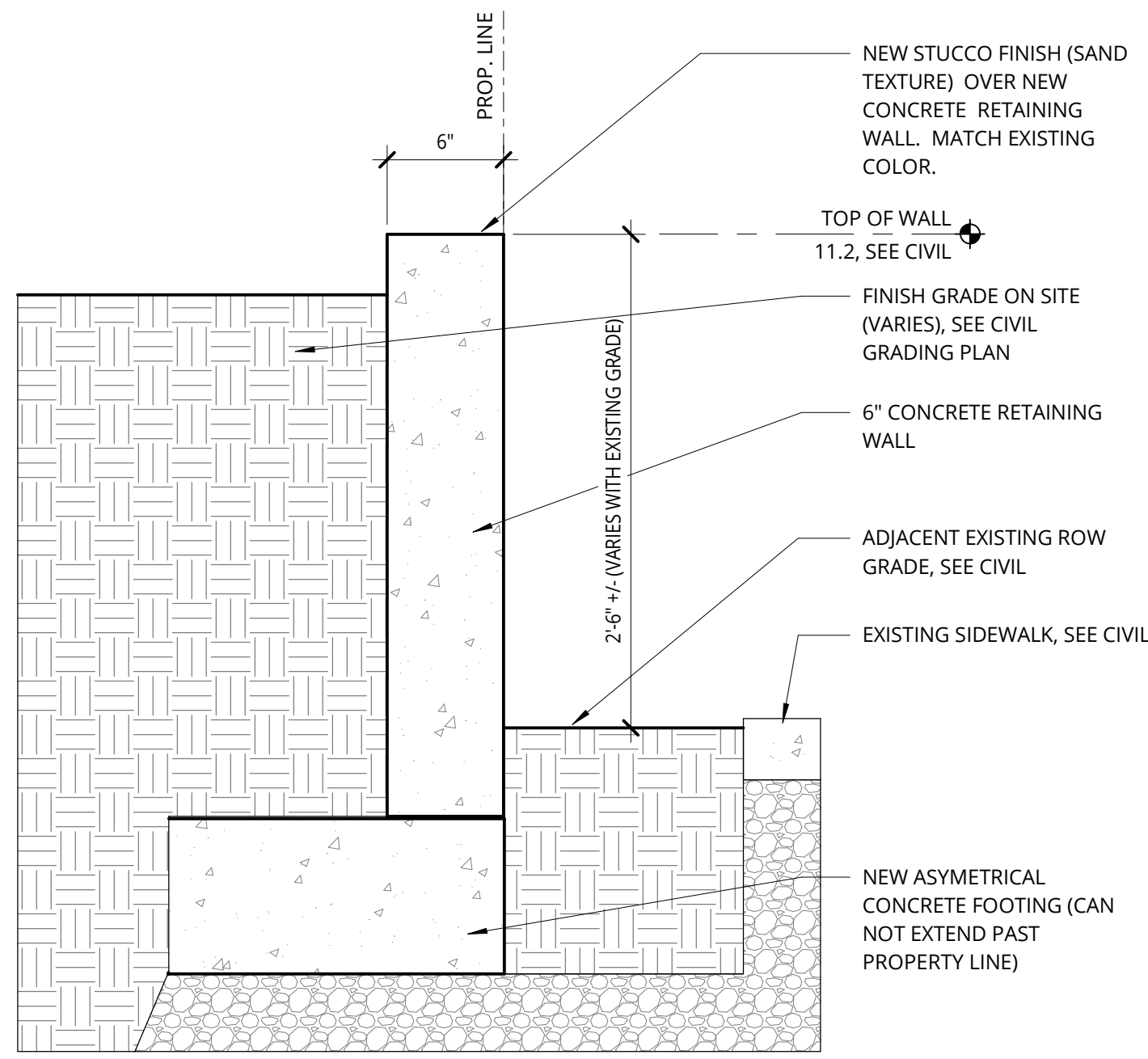
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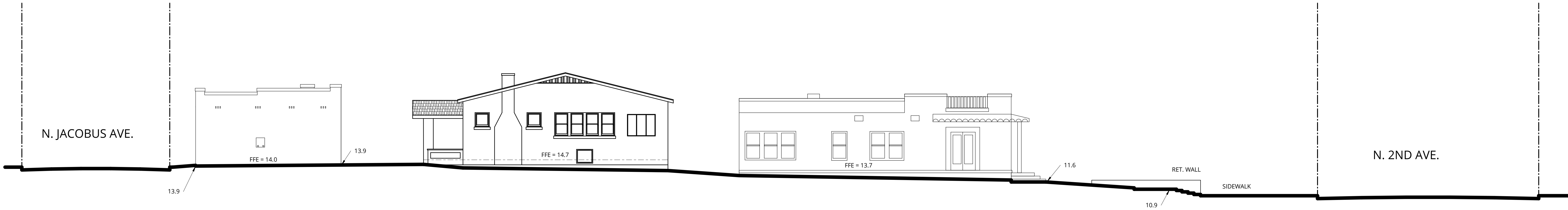
TC-RES-0825-04240



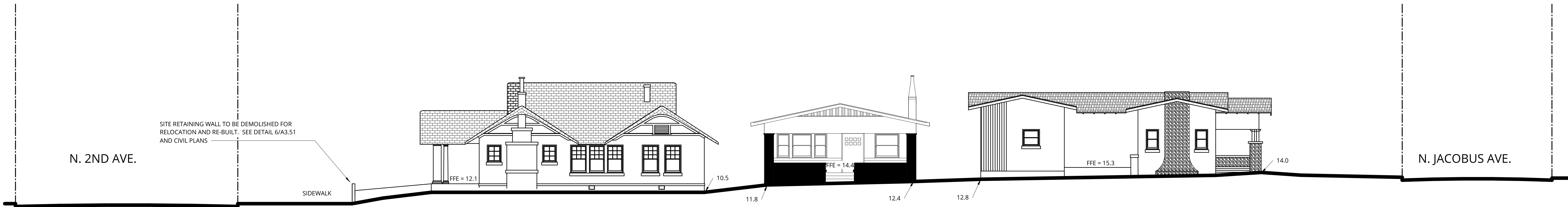
1 EAST ELEVATION FROM JACOBUS AVE
1/8" = 1'-0"



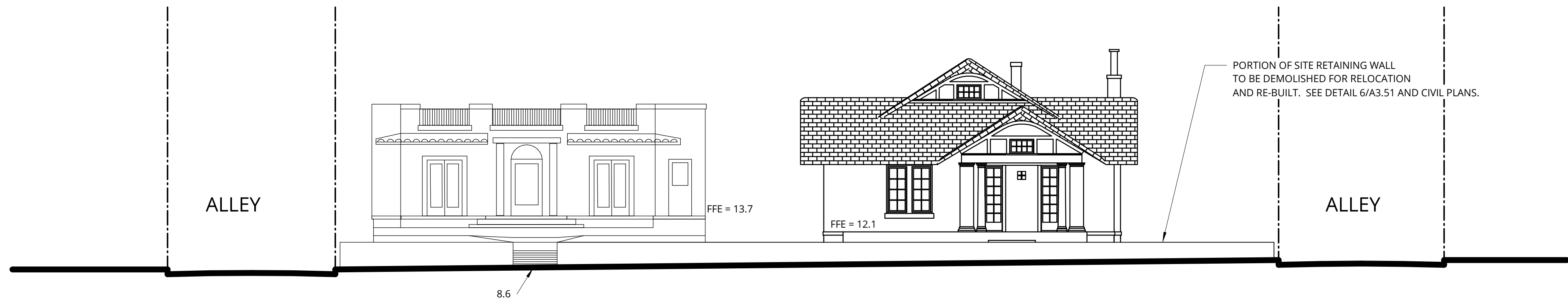
6 RETAINING WALL DETAIL - 2ND AVE.
1 1/2" = 1'-0"



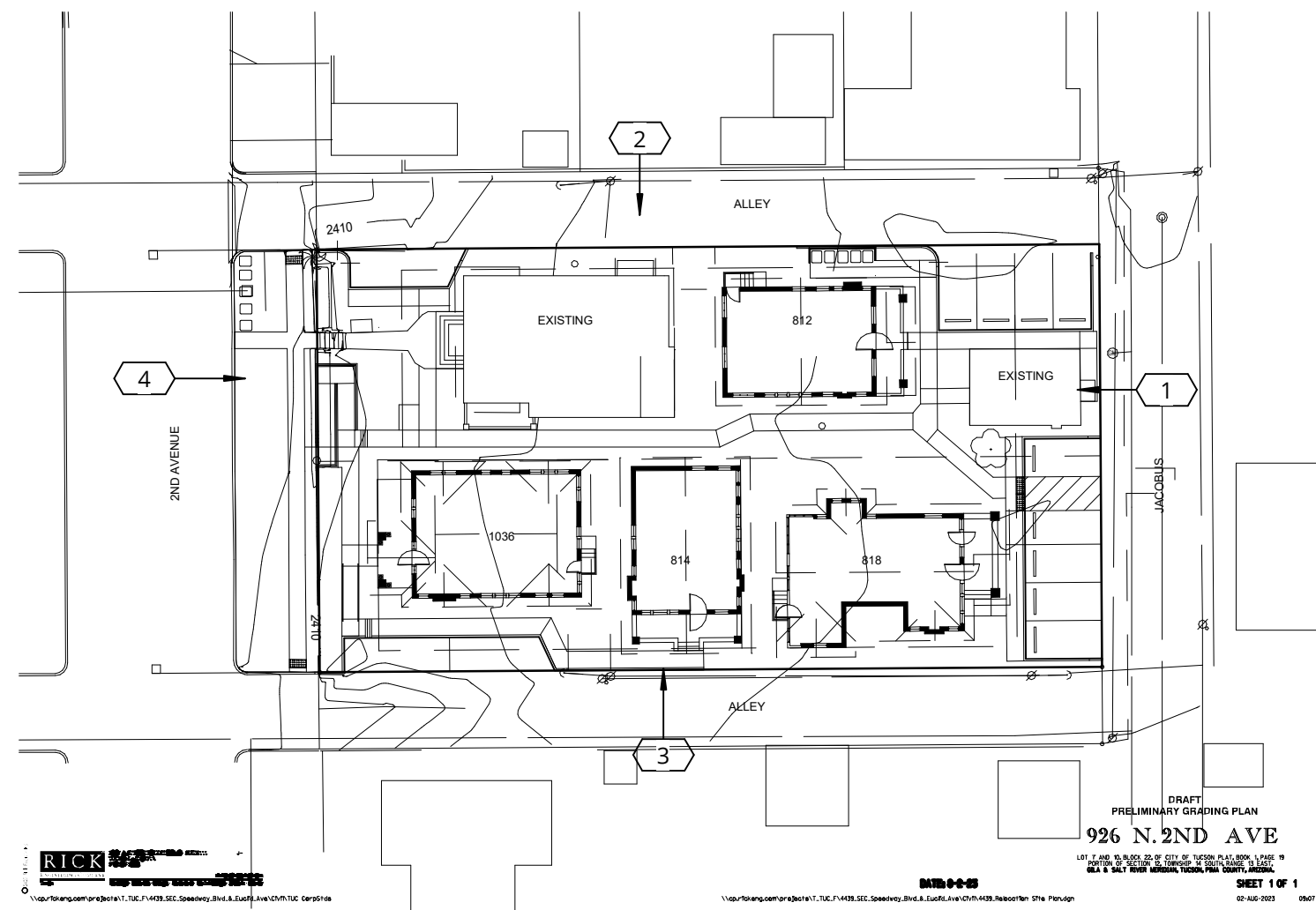
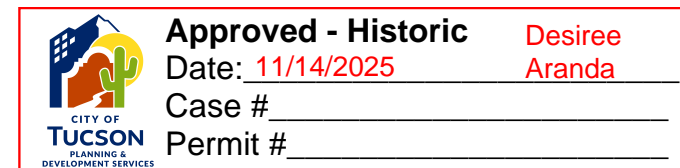
2 NORTH ELEVATION FROM ALLEY
1/8" = 1'-0"



3 SOUTH ELEVATION FROM ALLEY
1/8" = 1'-0"



4 WEST ELEVATION FROM N 2ND AVE
1/8" = 1'-0"



5 KEY PLAN - STREET ELEVATIONS
1" = 40'-0"

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PORTLAND, OR 97209
503.245.7100

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SEATTLE, WA 98101
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STREET ELEVATIONS

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SHEET NUMBER

A3.51



COMMENT LEGEND

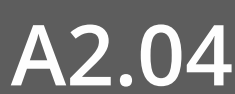
1 SCRAPE, SAND, PRIME AND PAINT EXISTING WINDOWS TO REMAIN.

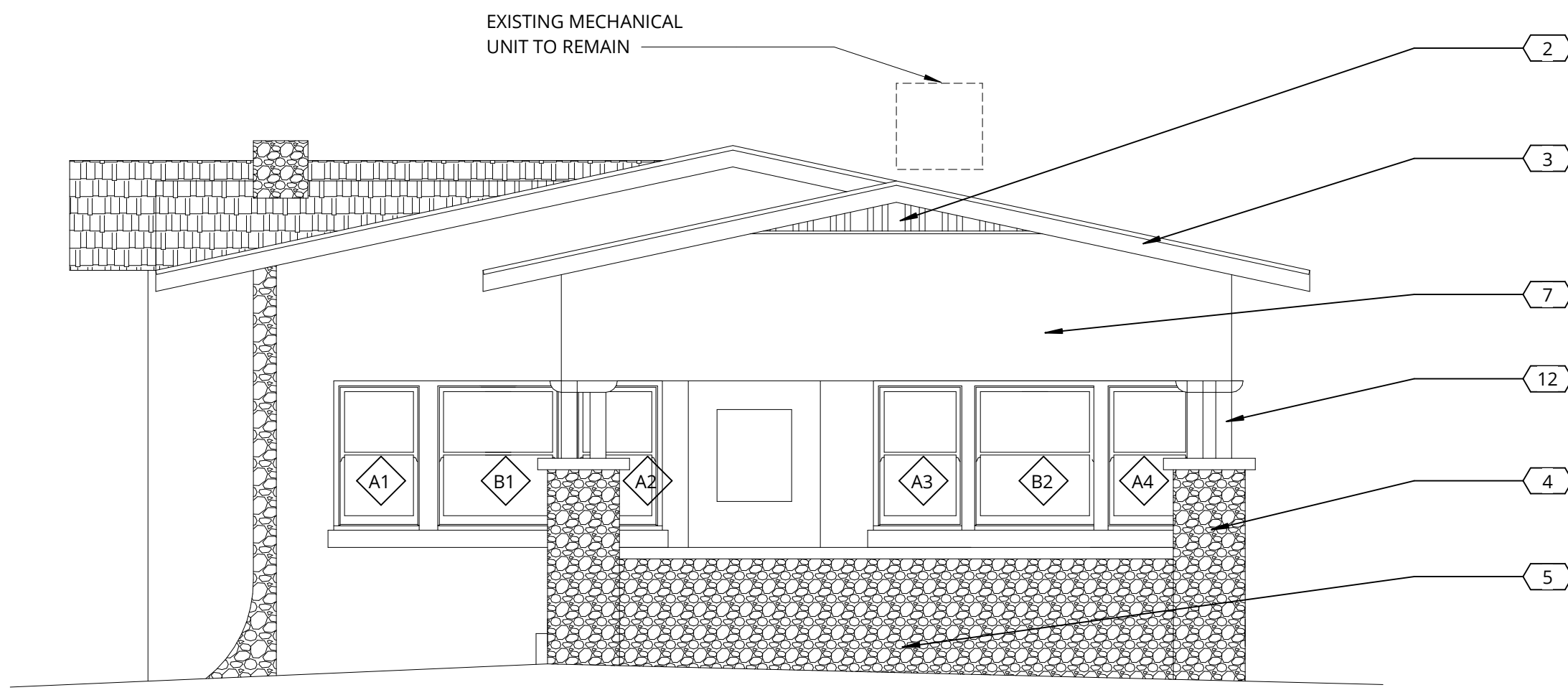
2 ALL WINDOWS TO BE BOARDED WITH 1/2" OSB FOR MOVE.

3 EXISTING AC UNIT TO BE DEMOLISHED AND WINDOW RESTORED TO ORIGINAL CONDITION

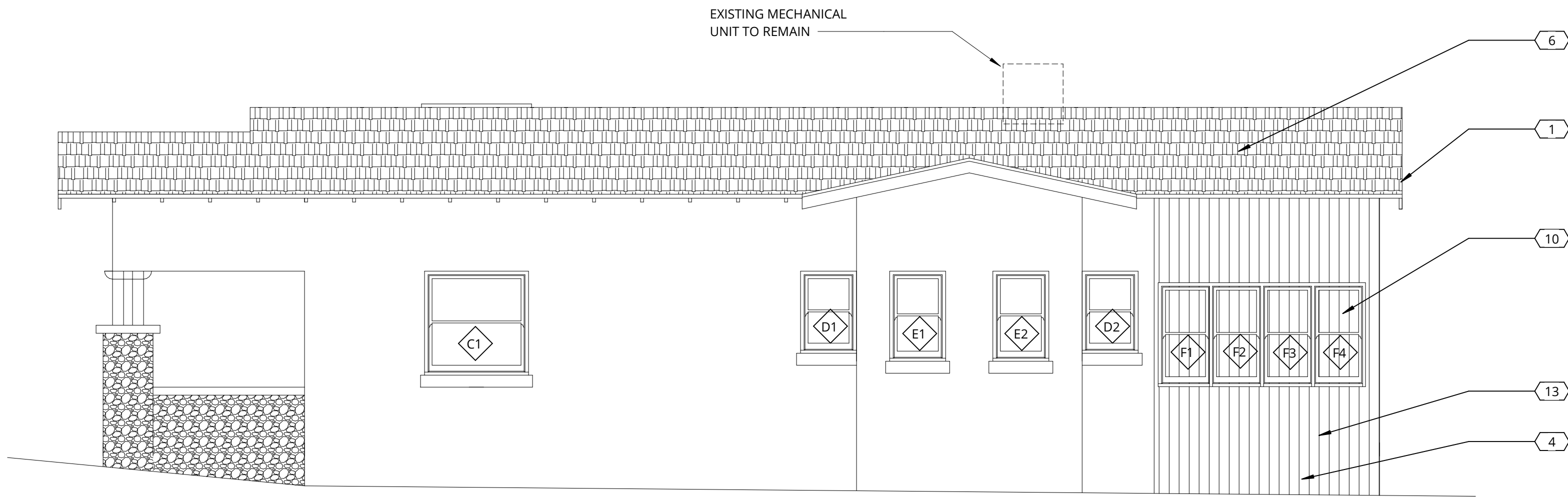
4 SEE PLANS AND ELEVATIONS FOR SPECIFIC WINDOW IDENTIFIERS.

5 ANY NEW OR REPLACEMENT WINDOWS TO BE KOLBE HERITAGE SERIES OR APPROVED EQUAL MATCH EXISTING SIZE, OPERATION, DETAIL, AND COLORING

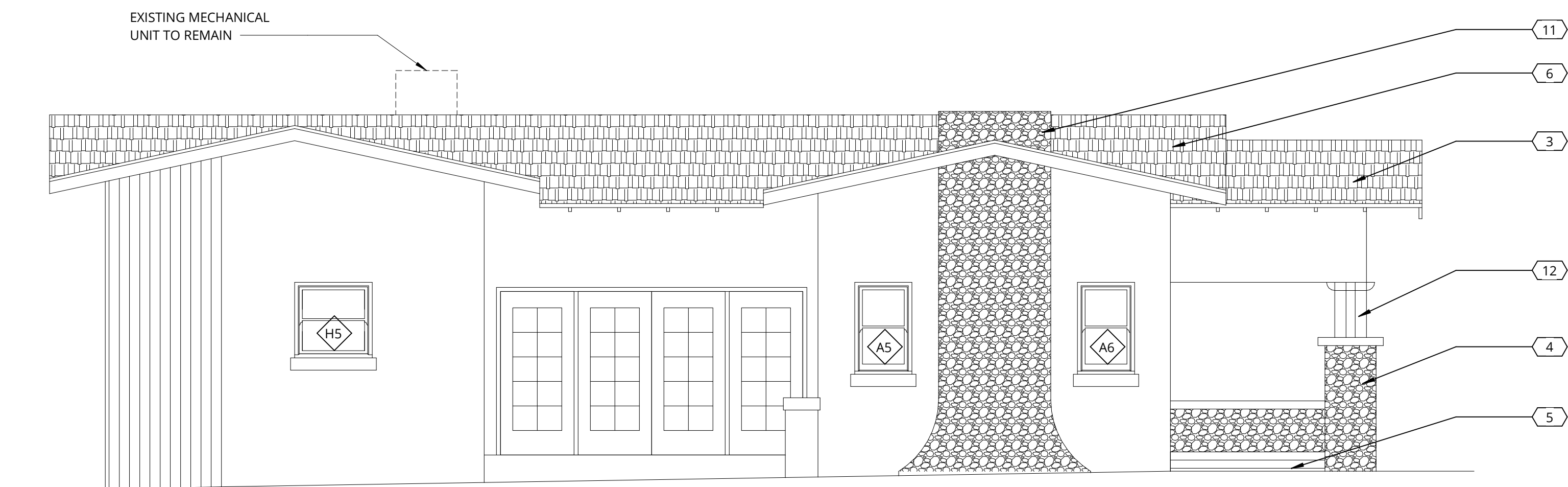




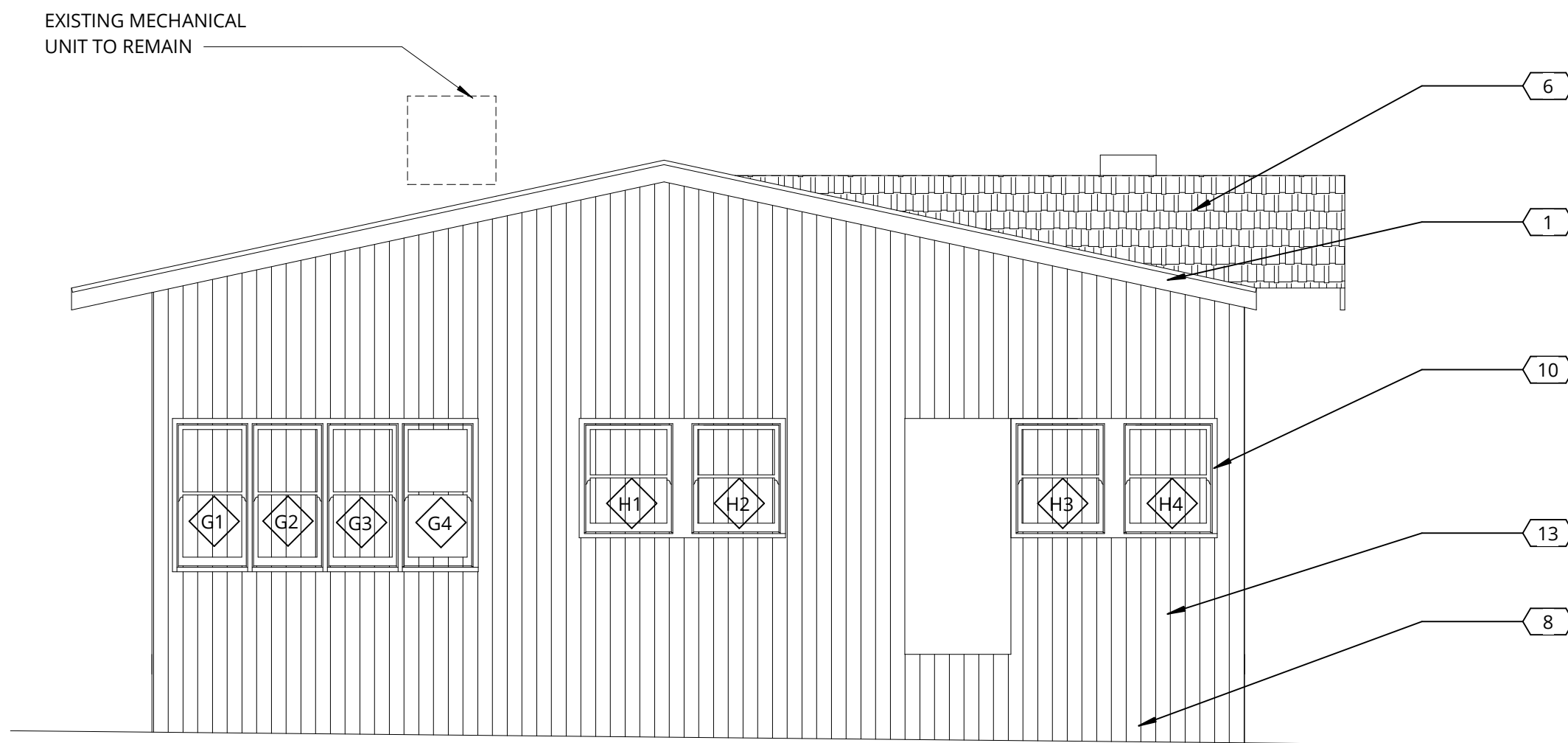
EAST ELEVATION (FORMERLY NORTH ELEVATION)



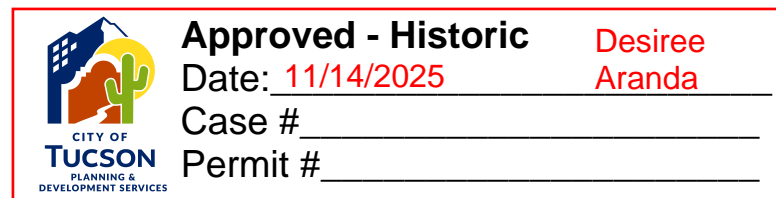
NORTH ELEVATION (FORMERLY WEST ELEVATION)



SOUTH ELEVATION (FORMERLY EAST ELEVATION)



WEST ELEVATION (FORMERLY SOUTH ELEVATION)



Approved as noted: (1)The openings around the stone foundation shall be natural edge; (2) The vents shall be centered under the window assembly per the approved plans reviewed under Historic sub-record: SD-0824-00078.

GENERAL NOTES - EXTERIOR ELEVATIONS

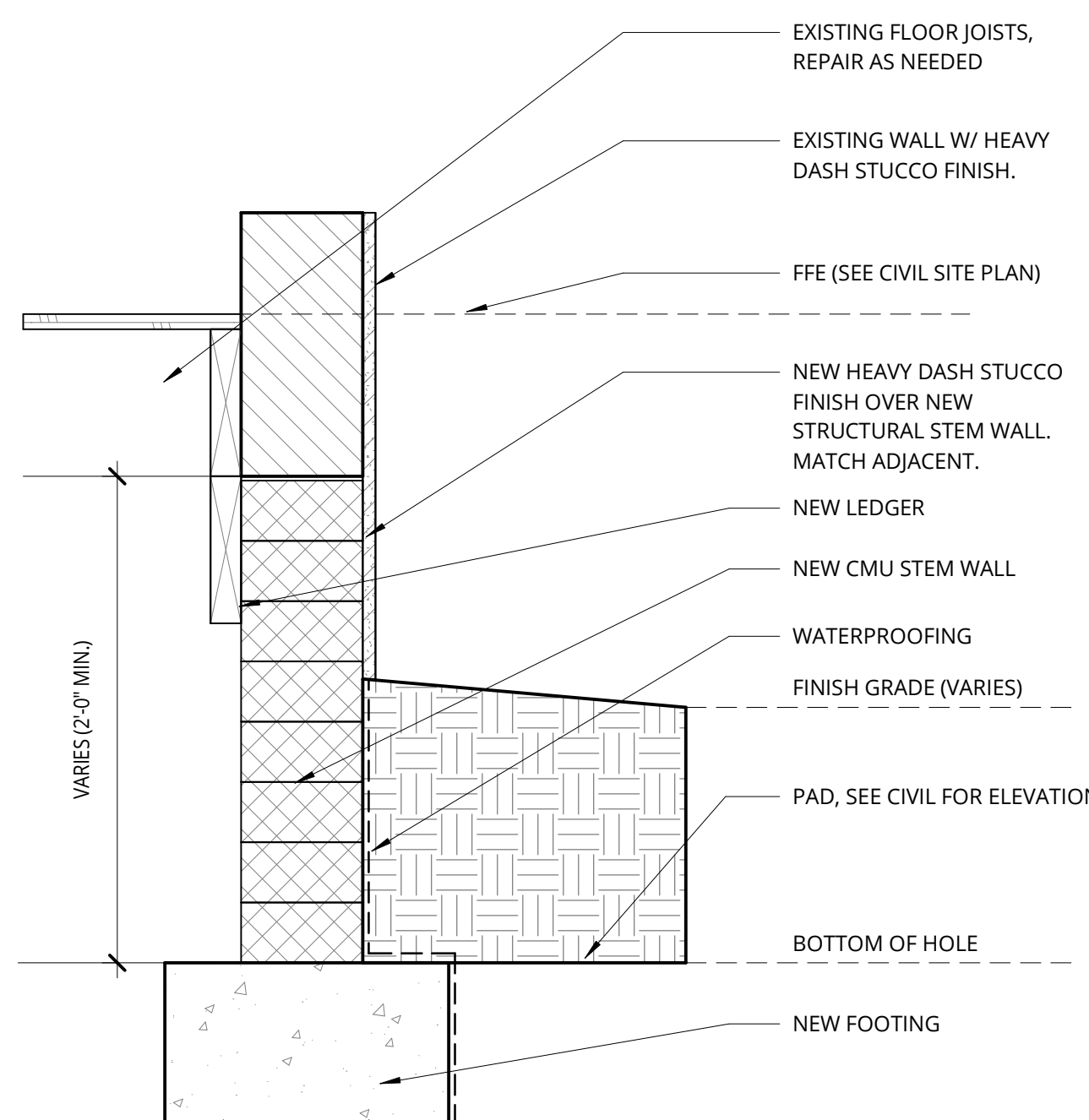
1. REFER TO FLOOR PLAN SHEET FOR 'PROJECT NOTES' APPLICABLE TO ALL PORTIONS OF THE WORK.
2. ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL. SEE CIVIL FOR GRADING INFORMATION.
3. SEE FLOOR PLAN SHEET FOR DOOR AND WINDOW SCHEDULE INFORMATION.
4. SEE DETAIL SHEET FOR EXISTING CONDITION PHOTOS.

KEYNOTES - 818 E SPEEDWAY

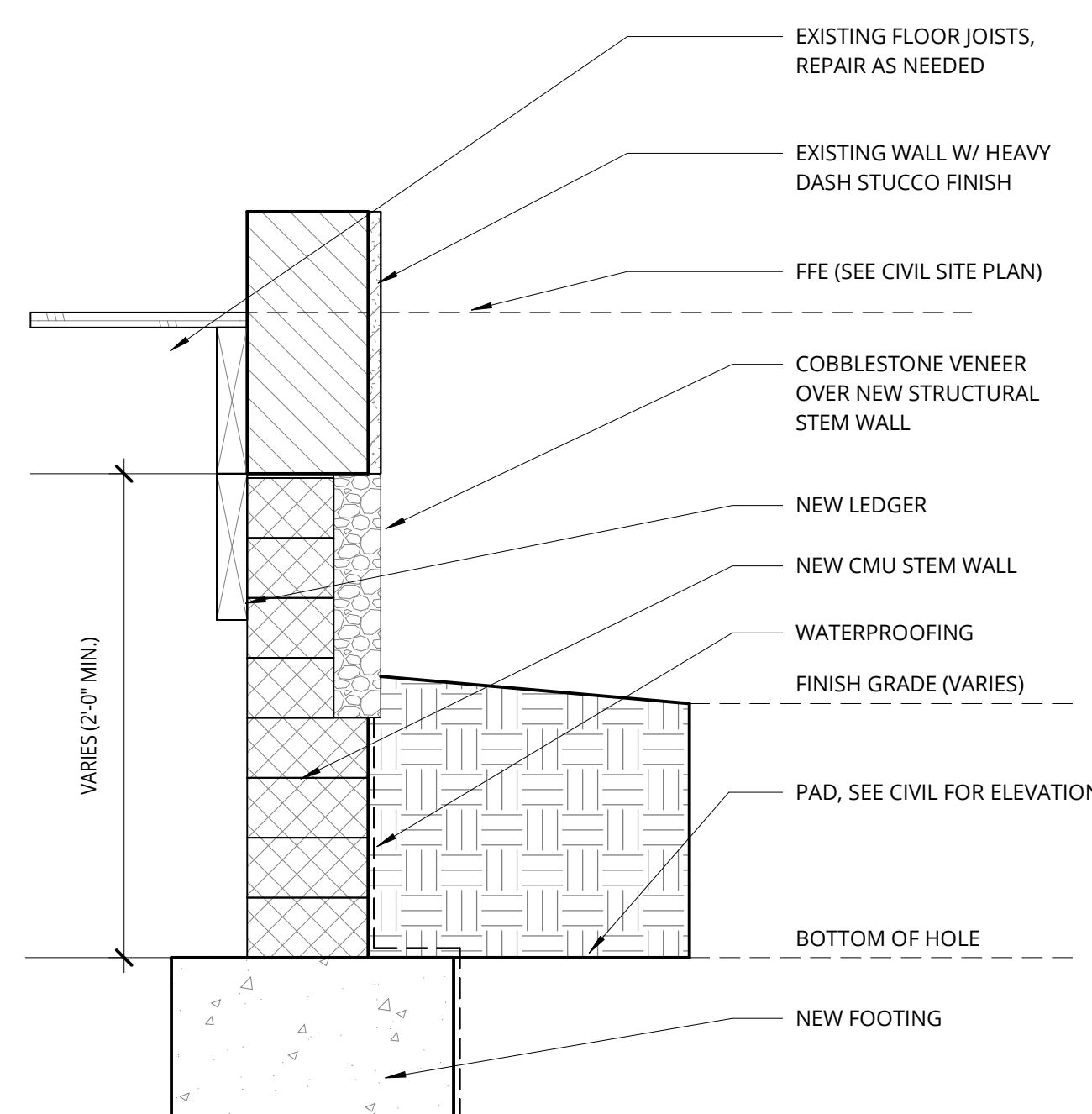
1. ROOF FASCIA, EXPOSED RAFTER TAILS, AND ALL WOOD TRIM TO BE SCRAPPED, PRIMED AND PAINTED. (TM-1)
2. WOOD VENTING IN GABLE END TO BE SCRAPPED, PRIMED AND PAINTED. (TM-1)
3. PORCH ROOF AND EAVE TO BE DECONSTRUCTED AND SALVAGED FOR MOVE. PORCH ROOF TO BE RE-BUILT TO MATCH EXISTING CONDITION WITH SALVAGED MATERIALS.
4. PORCH PIERS TO BE DECONSTRUCTED AND COBBLESTONE TO BE SALVAGED, MARKED/NUMBERED TO RECORD PLACEMENT. PORCH PIERS TO BE REPLICATED AND SHEATHED WITH SALVAGED COBBLESTONE.
5. NEW CONCRETE PORCH SLAB TO BE POURED. NEW SLAB WILL BE TEXTURED AND SCORED TO MATCH EXISTING. SCORING OF THE PORCH SLAB SHALL BE DOCUMENTED SO THAT IT CAN BE ACCURATELY REPLICATED.
6. NEW DIMENSIONAL ASPHALT SHINGLES TO BE APPLIED. (R-1)
7. EXISTING TEXTURED STUCCO SHEATHING TO REMAIN INTACT, PATCHED AND REPAIRED AS NEEDED WITH MATERIAL MATCHING THE EXISTING FINISH. (W-1)
8. NEW STRUCTURAL STEM WALL AND FOOTING. EXTERIOR FINISH TO MATCH EXISTING CONDITION. SEE DETAIL 2/A3.04. (STEM-1)
9. COBBLESTONE AT FOUNDATION/STEM WALL TO BE SALVAGED FOR RE-USE AS VENEER ON NEW FOUNDATION STEM WALL. SEE DETAIL 3/A3.04. (STEM-2)
10. WINDOW FRAMES TO BE REPAIRED AND PAINTED AS NEEDED SUCH THAT WINDOWS ARE VISIBLE. REPLACEMENT OF WINDOWS, SILL OR SASH TO BE DONE BY CONTRACTOR, ONLY IF WARRANTED AND APPROVED BY CITY OF TUCSON HP. SEE WINDOW SCHEDULE ON SHEET A2.04.
11. CHIMNEY TO BE DECONSTRUCTED. COBBLESTONE TO BE SALVAGED AND TRANSPORTED TO NEW SITE. CHIMNEY TO BE RE-BUILT TO MATCH EXISTING HEIGHT. EXTERIOR OF RE-BUILT CHIMNEY TO BE SHEATHED WITH SALVAGED COBBLESTONES, ABOVE AND BELOW ROOF. (CH-1)
12. CLUSTED PORCH POSTS TO BE SALVAGED AND RE-INSTALLED. (COL-1)
13. EXISTING WOOD SIDING (W-2) TO REMAIN, SEE EXTERIOR MATERIAL SCHEDULE.

EXTERIOR MATERIAL SCHEDULE

	DESCRIPTION	EXISTING	NEW	TEXTURE	COLOR	TYPE	COMMENTS
ROOF							
R-1	DIMENSIONAL ASPHALT SHINGLES		X		FOX HOLLOW GRAY	HDZ SERIES	HDZ SERIES SHINGLE BY GAF
WALLS							
W-1	STUCCO	X		HEAVY DASH, MATCH EXISTING	MATCH EXISTING		PATCH, REPAIR AND PAINT EXISTING.
W-2	WOOD SIDING	X		SMOOTH, MATCH EXISTING	DE6332 GLEN FALLS		PATCH, REPAIR AND PAINT EXISTING.
COL-1	COBBLESTONE COLUMNS	X		MATCH EXISTING			
TRIM							
TM-1	WOOD TRIM	X		SMOOTH	DE6332 GLEN FALLS		SCRAPE, PRIME, AND PAINT EXISTING TRIM
FOUNDATION							
STEM-1	STUCCO OVER NEW STRUCTURAL STEM WALL		X	HEAVY DASH, MATCH EXISTING	MATCH EXISTING		
STEM-2	COBBLESTONE VENEER OVER NEW STRUCTURAL STEM WALL	X		MATCH EXISTING	MATCH EXISTING		USE SALVAGED MATERIAL FOR VENEER FACING
PORCH SLAB	CONCRETE WITH 24"x30" SCORE JOINTS		X	BROOM FINISH	DAVIS COLORS - MESQUITE 677		CONTRACTOR TO DOCUMENT EXISTING SCORE JOINTS PRIOR TO RELOCATION AND MATCH AT NEW PORCH SLAB.
CHIMNEYS							
CH-1	COBBLESTONE VENEER	X		MATCH EXISTING	MATCH EXISTING		PRIMARY CHIMNEY TO BE DE-CONSTRUCTED FOR MOVE AND RE-BUILT AT NEW LOCATION WITH SALVAGED MATERIALS.

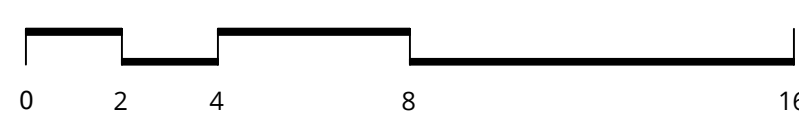


2 FOUNDATION DETAIL - 818 (STEM-1)
1 1/2" = 1'-0"



3 FOUNDATION DETAIL - 818 (STEM-2)
1 1/2" = 1'-0"

1 818 E SPEEDWAY - EXTERIOR ELEVATIONS
1/4" = 1'-0"



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PORTLAND, OR 97209
503.245.7100

1505 5TH AVE, SUITE 300
SEATTLE, WA 98101
206.576.1600

1014 HOWARD STREET
SAN FRANCISCO, CA 94103
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TUCSON SPEEDWAY HISTORICAL HOUSES RELOCATION

TUCSON, AZ

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818 - RELO
ELEVATIONS

CONCEPT DESIGN

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EAST ELEVATION (FORMERLY NORTH ELEVATION)

- EAVES, RAKES AND RAFTER TAILS TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED.
- CLUSTERED PORCH POSTS TO BE SALVAGED AND RE-INSTALLED.
- COBBLESTONE COLUMN TO BE DECONSTRUCTED, SALVAGED AND RE-INSTALLED AT NEW LOCATION.
- PARTIAL HEIGHT COBBLESTONE PORCH WALL TO BE DECONSTRUCTED, SALVAGED AND RECONSTRUCTED AT NEW LOCATION.



EAST ELEVATION (FORMERLY NORTH ELEVATION)

- BROKEN GLASS TO BE REPLACED. SEE PLANS AND WINDOW SCHEDULE FOR LOCATIONS.
- ORIGINAL ENTRY DOOR TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED. BROKEN GLASS TO BE REPLACED IN DOOR LITE.
- DOOR TRIM TO BE REMOVED AS NEEDED AND RESTORED TO NEW CONDITION.
- STUCCO FINISH TO BE PATCHED, TEXTURED AND PAINTED TO MATCH ADJACENT WALL.
- NEW CONCRETE FLOOR SLAB TO MATCH EXISTING FOR COLOR, TEXTURE AND SCORING PATTERN.



SOUTH ELEVATION (FORMERLY EAST ELEVATION)

- WINDOWS FRAMES TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED. SEE WINDOW SCHEDULE FOR MORE INFORMATION.
- EXISTING UTILITIES TO BE DEMOLISHED. PATCH STUCCO FINISH AS REQUIRED TO MATCH EXISTING ADJACENT WALL.
- PRIMARY COBBLESTONE CHIMNEY TO BE DECONSTRUCTED, SALVAGED AND RE-BUILT AT NEW LOCATION.
- STUCCO FINISH TO BE PATCHED, TEXTURED AND PAINTED TO MATCH ADJACENT WALL.



EAST ELEVATION (FORMERLY NORTH ELEVATION)



EAST ELEVATION (FORMERLY NORTH ELEVATION)

- BROKEN GLASS TO BE REPLACED. SEE PLANS AND WINDOW SCHEDULE FOR LOCATIONS.
- NON-ORIGINAL DOOR TO BE DEMOLISHED AND REPLACED WITH WINDOW TO RESTORE ORIGINAL CONDITION. SEE ELEVATIONS.
- PARTIAL HEIGHT COBBLESTONE PORCH WALL TO BE DECONSTRUCTED, SALVAGED AND RECONSTRUCTED AT NEW LOCATION.
- NEW CONCRETE FLOOR SLAB TO MATCH EXISTING FOR COLOR, TEXTURE AND SCORING PATTERN.



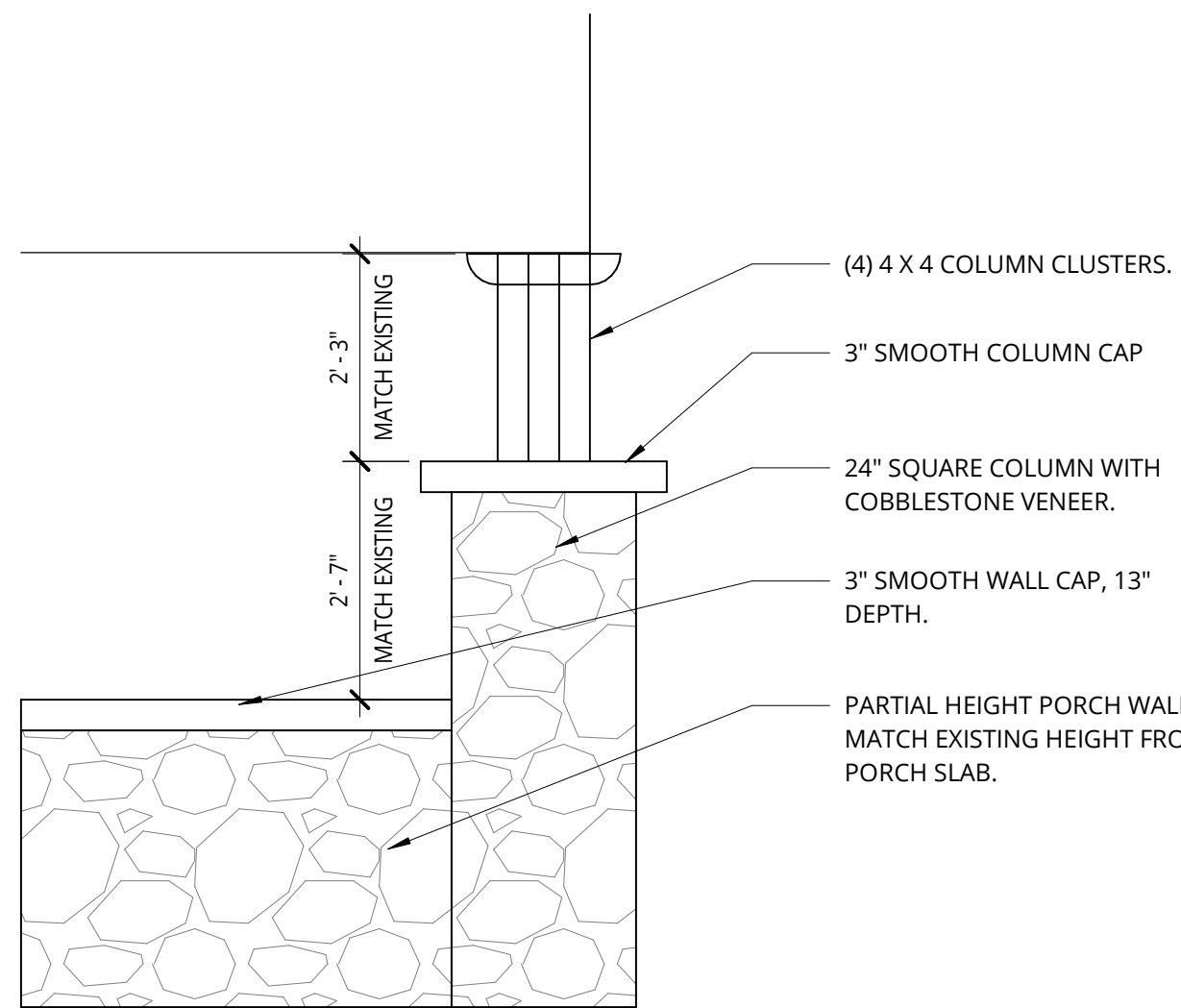
SOUTH ELEVATION (FORMERLY EAST ELEVATION)

- EXISTING WOOD SIDING TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED.
- WINDOW MOUNTED AC UNIT TO BE REMOVED.
- STUCCO FINISH TO BE PATCHED, TEXTURED AND PAINTED TO MATCH ADJACENT WALL.



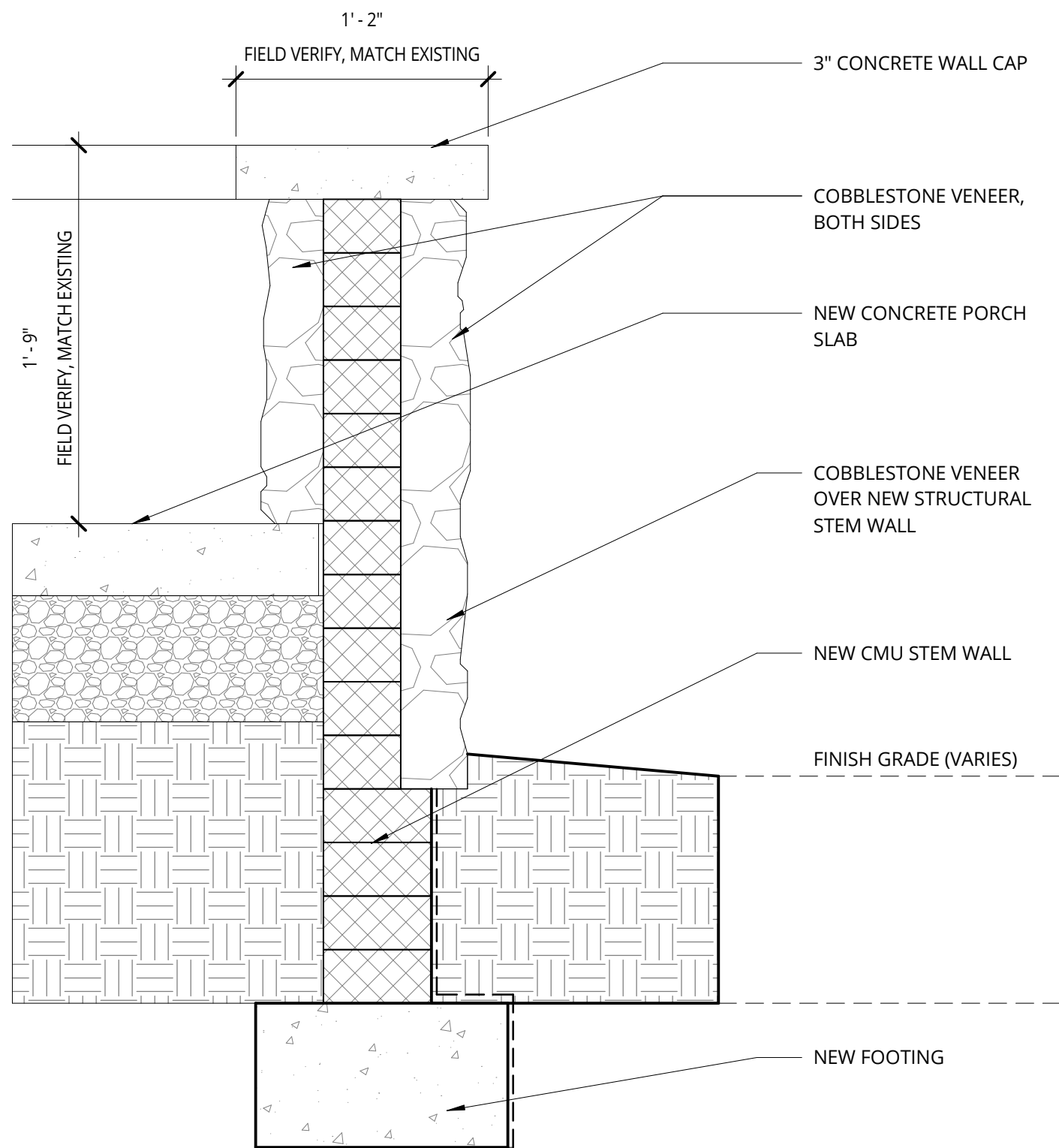
SOUTH ELEVATION (FORMERLY EAST ELEVATION)

- PRIMARY COBBLESTONE CHIMNEY TO BE DECONSTRUCTED, SALVAGED AND RE-BUILT AT NEW LOCATION.
- EAVES, RAKES AND RAFTER TAILS TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED.
- PRIMARY COBBLESTONE CHIMNEY TO BE DECONSTRUCTED, SALVAGED AND RE-BUILT AT NEW LOCATION.



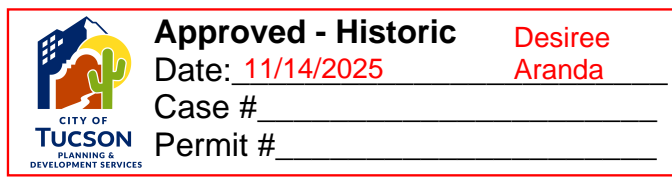
1 COLUMN DETAIL - 818

1/2" = 1'-0"



2 PORCH WALL DETAIL - 818

1 1/2" = 1'-0"



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818 - DETAILS

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