



3036 East Greenway Rd.
Phoenix, AZ 85032

T 602.494.0800

January 27, 2026

Re: Tucson Speedway Historical Houses Relocation
926 N 2nd Ave, Tucson, AZ 85719
CORE Job No. 24-02-006

Dear Desiree Aranda,

This correspondence is submitted to document final roof color selections for the subject properties and to request review of limited exterior material and window modifications for House 818 only, as discussed during our on-site walk conducted on January 22, 2026.

Roof Color Selections (Roof Only)

The previously specified roof colors are no longer available due to product discontinuation or regional supply limitations. As a result, alternative roof colors were selected that closely align with the originally approved intent. These selections apply exclusively to roofing materials and do not represent final exterior wall or façade colors.

The final roof-only color selections are as follows:

- **House 1040–1042:** Pewter Gray
- **House 1036:** Barkwood
- **House 814:** Barkwood
- **House 818:** Pewter Gray
- **House 812:** Pewter Gray

Requested Modifications – House 818 Only

Per the January 22, 2026 site walk, portions of the north elevation, a small section of the south elevation, and the west elevation of House 818 were originally shown to retain existing wood siding. Based on site observations, the existing wood siding in these areas was determined to be not salvageable due to severe water damage. As discussed onsite, these areas are proposed to be replaced with stucco to match the existing house, in order to maintain consistency and improve long-term durability.

As shown on the markup drawings, a revised window configuration is also proposed for House 818 to reflect the layout discussed during the site walk, while maintaining appropriate proportions and alignment consistent with the building's character.

Additionally, as shown on the markup drawings, the east elevation will remain unchanged. It was determined during the site walk that the second entry door on the east elevation is original, and therefore both entry doors are proposed to remain, with the original door to be repaired and restored. These requested changes are limited solely to House 818. No other properties or exterior elements are impacted beyond what is described herein.

We respectfully request your review and concurrence that the proposed roof color selections and House 818 exterior and window modifications, as described above and shown on the markup drawings, are acceptable and consistent with the City's historic preservation standards and applicable guidelines.

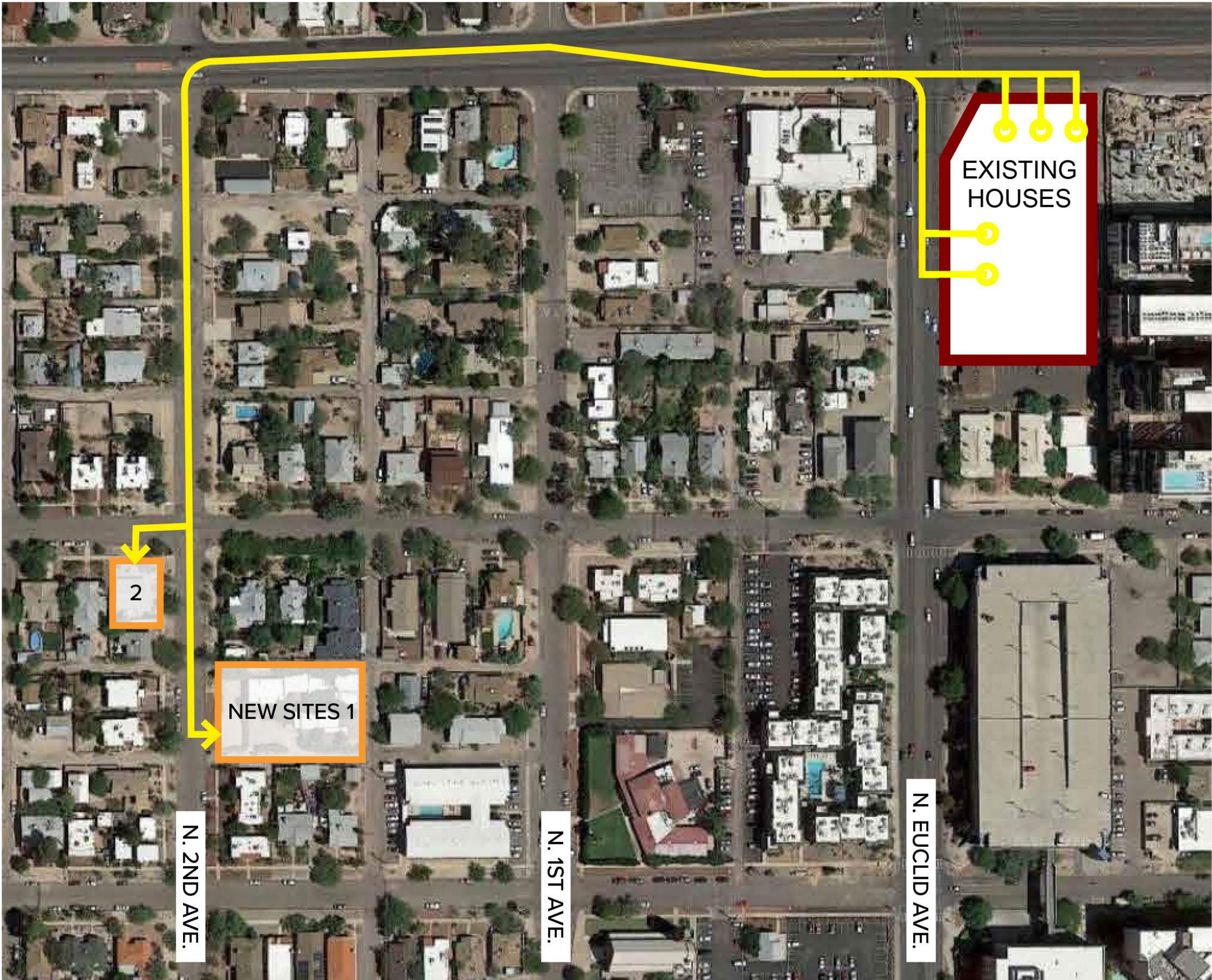
Respectfully,

Ross Valenzuela
Project Director
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rossvalenzuela@COREConstruction.com

CAPSTONE COLLEGIATE COMMUNITIES / JJSC LLC

EUCLID AND SPEEDWAY

HISTORICAL HOUSES RELOCATION PROJECT



GENERAL NOTES - RELOCATION

PROCEDURE FOR RELOCATION
THE PROCESS OF MOVING WILL BE ACCOMPLISHED IN A SEQUENCE BASED ON THE NEW LOCATIONS FOR EACH HOUSE (TO BE DETERMINED).

THE INITIAL STEP REQUIRES MINOR EXCAVATION AND GRADING AROUND EACH HOUSE TO FACILITATE ACCESS FOR PLACING STEEL I-BEAMS UNDER THE HOUSE. NOTCHES WILL BE CUT IN THE STEM WALLS TO ALLOW FOR THE INSERTION OF STEEL BEAMS. THE BEAMS ARE THEN SUPPORTED BY A SECOND SET OF BEAMS THAT ARE FASTENED TOGETHER TO CREATE A SOLID PLATFORM BASE UNDER EACH HOUSE. THE HOUSES WILL BE LIFTED FROM BELOW AT THE BASE OF THE MAIN SILL PLATE AND FLOOR JOINTS, SHIMMED AS REQUIRED. THE STEEL PLATFORM BASE IS THEN LIFTED AND ATTACHED TO A TRUCK FOR THE ACTUAL MOVE. IN CASES WHERE THERE IS A VENEER OF TUFFA OR COBBLESTONE, THIS WILL BE REMOVED, OR IF THE STEM WALL IS STRUCTURAL, THE TUFFA OR COBBLESTONE STEM WALL WILL BE DISASSEMBLED AND RELOCATED.

AS NOTED BELOW, IN SOME CASES THE PORCH ROOFS WILL BE REMOVED FROM THE "MAIN BLOCK" OF THE HOUSE AND THE MATERIALS SALVAGED FOR POTENTIAL REUSE. IN OTHER CASES, THE PORCHES ARE INTEGRAL TO THE PREDOMINANT ROOF STRUCTURE AND WILL BE SUPPORTED WITH STEEL BRACING INTEGRATED WITH THE STEEL BASE.

NON-HISTORIC ADDITIONS WILL BE REMOVED AND THOSE WALL SECTIONS RESTORED TO THEIR ORIGINAL APPEARANCE AS PART OF THE REHABILITATION.

MOVE ROUTE
IN GENERAL, THE HOUSES WILL BE TOWED FROM THEIR CURRENT SITE ONTO EITHER SPEEDWAY OR EUCLID AND MANEUVERED TO PROCEED WEST ON SPEEDWAY. THIS WILL REQUIRE TEMPORARY BLOCKING OF TRAFFIC AND LIKELY TEMPORARY RELOCATION OF STREETLIGHTS. THE ROUTE WILL TURN SOUTH ON SECOND AVENUE FOR TWO BLOCKS BEFORE ARRIVING AT THE NEW SITE. SOME TRIMMING OF TREES WILL BE REQUIRED, AS WELL AS ALL CARS PROHIBITED FROM PARKING ON THE STREET. THE MOVE(S) ARE EXPECTED TO OCCUR OVERNIGHT, OVER A FIVE-WEEK PERIOD. THE EXACT SCHEDULE WILL BE DETERMINED VIA CITY ROW USE PERMIT PROCESS.

PREPARATION WORK FOR NEW LOCATION
NEW FOOTINGS WILL BE CONSTRUCTED PRIOR TO THE MOVE. FOUNDATIONS/STEM WALLS WILL THEN BE BUILT UP TO THE BASE OF EACH HOUSE SO THEY CAN BE SET IN PLACE. FOUNDATION SHEATHING WILL OCCUR AS PART OF THE REHABILITATION, AS NOTED BELOW. AT THE 928 N. SECOND AVENUE SITE, AN EXISTING RETAINING WALL WILL NEED TO BE REMOVED AND THE LAND GRADED TO ALLOW ACCESS FOR THE HOUSES. THE SITE WILL NEED TO BE REGRADED, STABILIZED AND COMPACTED. THE RETAINING WALL WILL NEED TO BE RECONSTRUCTED. SPECIFICS ON WORK REQUIRED FOR THE MOVE OF EACH HOUSE ARE OUTLINED IN THE COMING PAGES.

EXTERIOR REHABILITATION OF HOUSES
THE MOVE PROCEDURE WILL REQUIRE REMOVAL OF CERTAIN FEATURES, NOTABLY PORCHES AND OTHER PROJECTIONS, THAT ARE NOT INTEGRAL TO THE STRUCTURAL FRAME OF THE HOUSE.

THERE ARE ALSO CERTAIN GENERAL CONDITIONS PERTAINING TO THE MOVE PROCEDURE. WINDOWS SHALL BE CONSIDERED TO BE PART OF THE PRIMARY STRUCTURE AND WILL BE MOVED AS PART OF THE MAIN BLOCK. THE WINDOWS WILL BE BOARDED WITH 1/2" OSB PRIOR TO THE MOVE FOR PROTECTION AND STABILITY. CRACKED OR BROKEN GLASS WILL BE REPLACED AS NEEDED AFTER THE MOVE. PORCH FLOORS AND STAIRS THAT ARE SCORED CONCRETE WILL NOT BE MOVED, BUT WILL BE REPLICATED TO MATCH THE ORIGINAL MATERIAL. ALL ROOFS WILL BE MOVED WITH THE HOUSE, BUT HOUSES MAY NEED NEW ROOF SHEATHING TO BE APPLIED AT THE NEW LOCATION. THE NEW SITE WILL BE FENCED FOR SECURITY, TYPICAL OF ANY CONSTRUCTION SITE.

SEE PLANS AND ELEVATIONS FOR THE SPECIFIC ARCHITECTURAL FEATURES OF THE HOUSES TO BE RESTORED/REPAIRED ON EACH HOUSE IN ORDER TO RETAIN THE INTEGRITY OF THE HISTORIC APPEARANCE.

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A7.25	1040-1042 - DETAILS			

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TUCSON SPEEDWAY HISTORICAL HOUSES RELOCATION

926 N. 2ND AVE
TUCSON, AZ

Capstone Collegiate Communities/JJSC LLC

REVISION	DATE	REASON FOR ISSUE

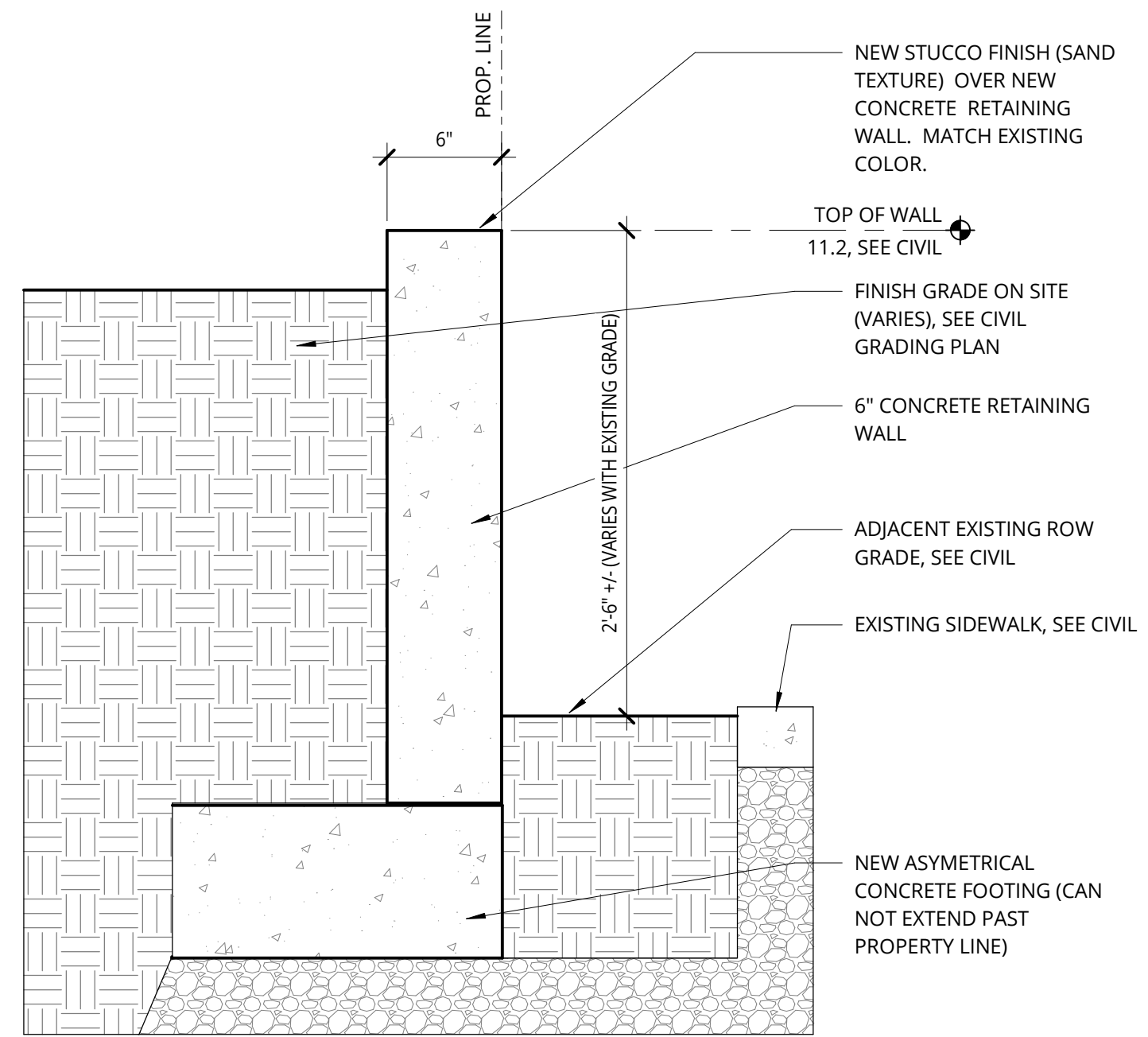
SHEET INDEX

CONCEPT DESIGN

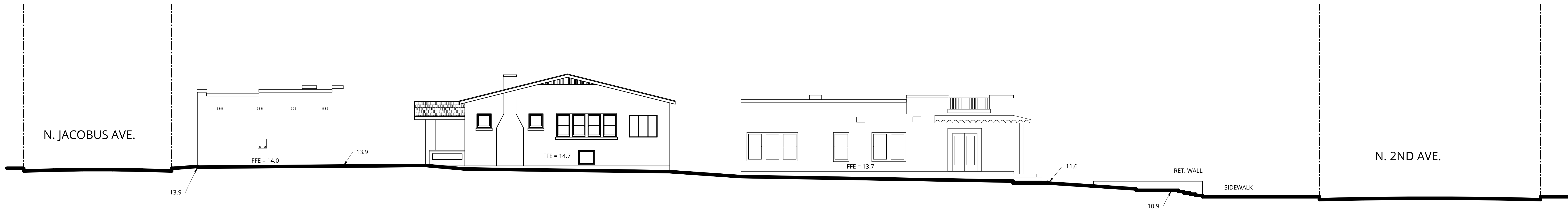
DATE	PROJECT NUMBER
04/09/2024	184170
SHEET NUMBER	G0.01



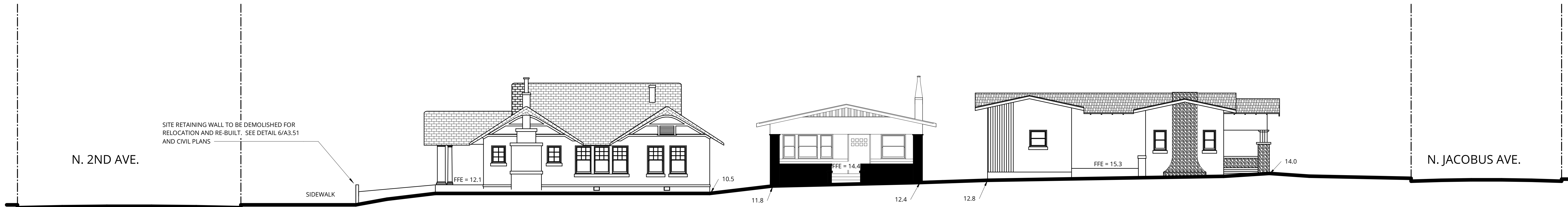
1 EAST ELEVATION FROM JACOBUS AVE
1/8" = 1'-0"



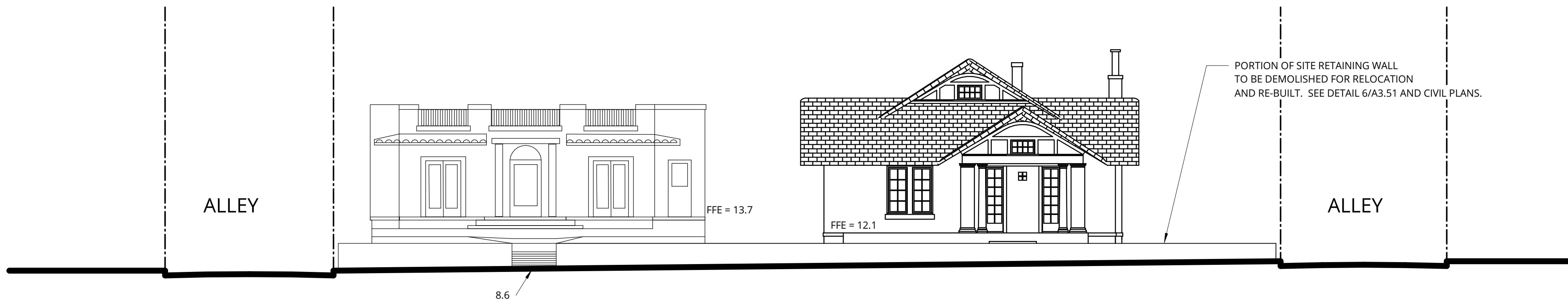
6 RETAINING WALL DETAIL - 2ND AVE.
1 1/2" = 1'-0"



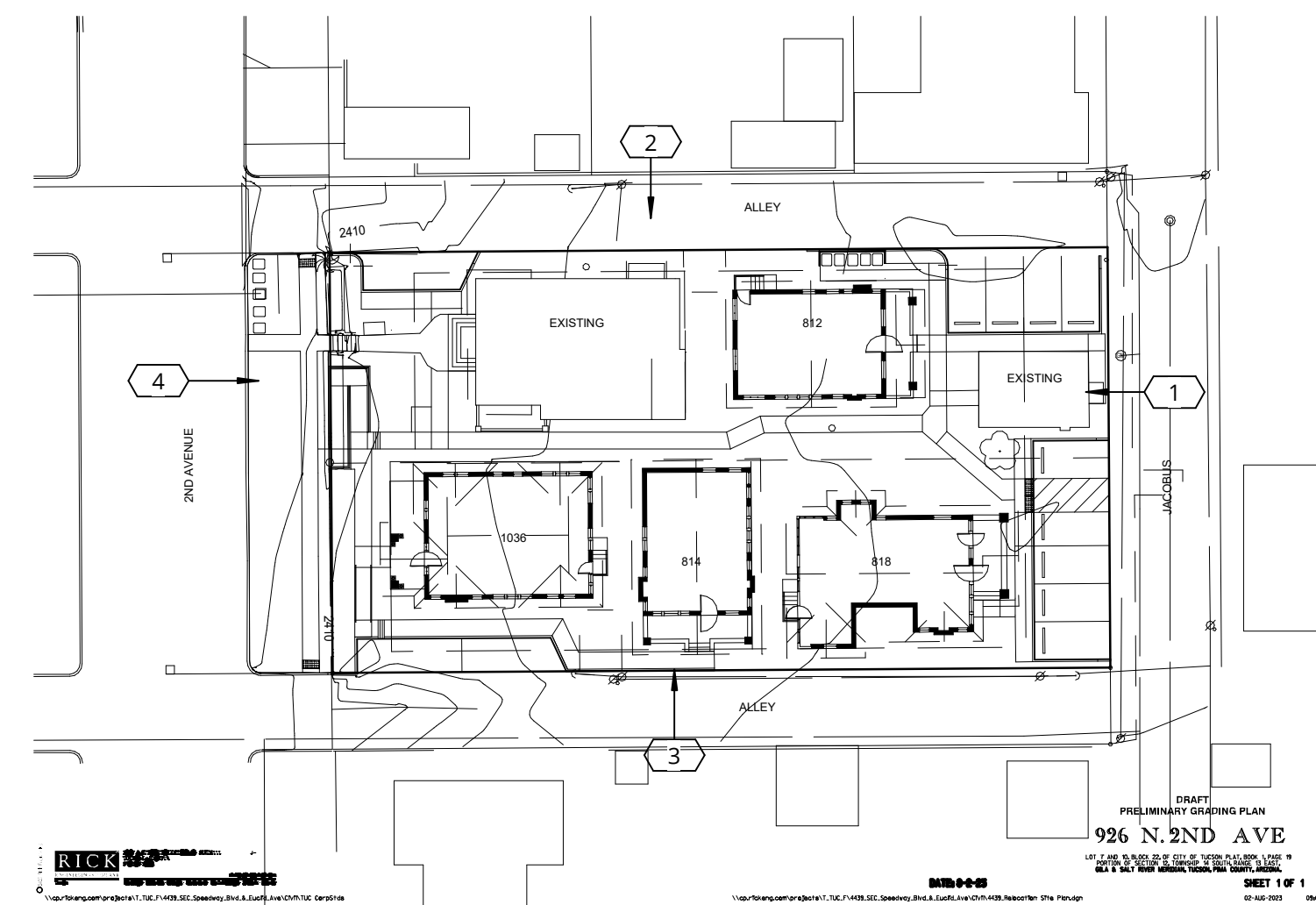
2 NORTH ELEVATION FROM ALLEY
1/8" = 1'-0"



3 SOUTH ELEVATION FROM ALLEY
1/8" = 1'-0"



4 WEST ELEVATION FROM N 2ND AVE
1/8" = 1'-0"



5 KEY PLAN - STREET ELEVATIONS
1" = 40'-0"

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STREET ELEVATIONS

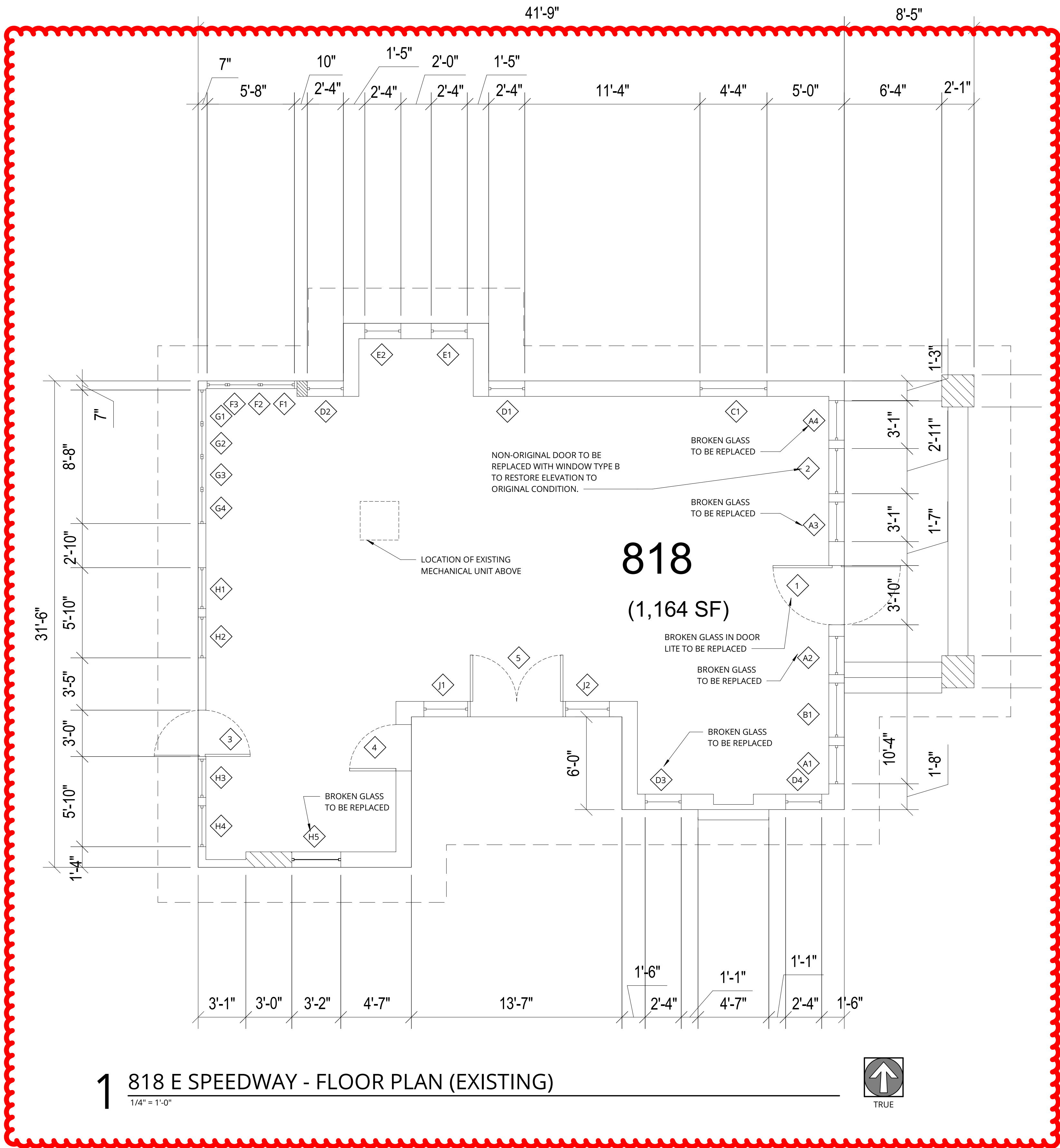
CONCEPT DESIGN

DATE
04/09/2024

PROJECT NUMBER
184170

SHEET NUMBER

A3.51



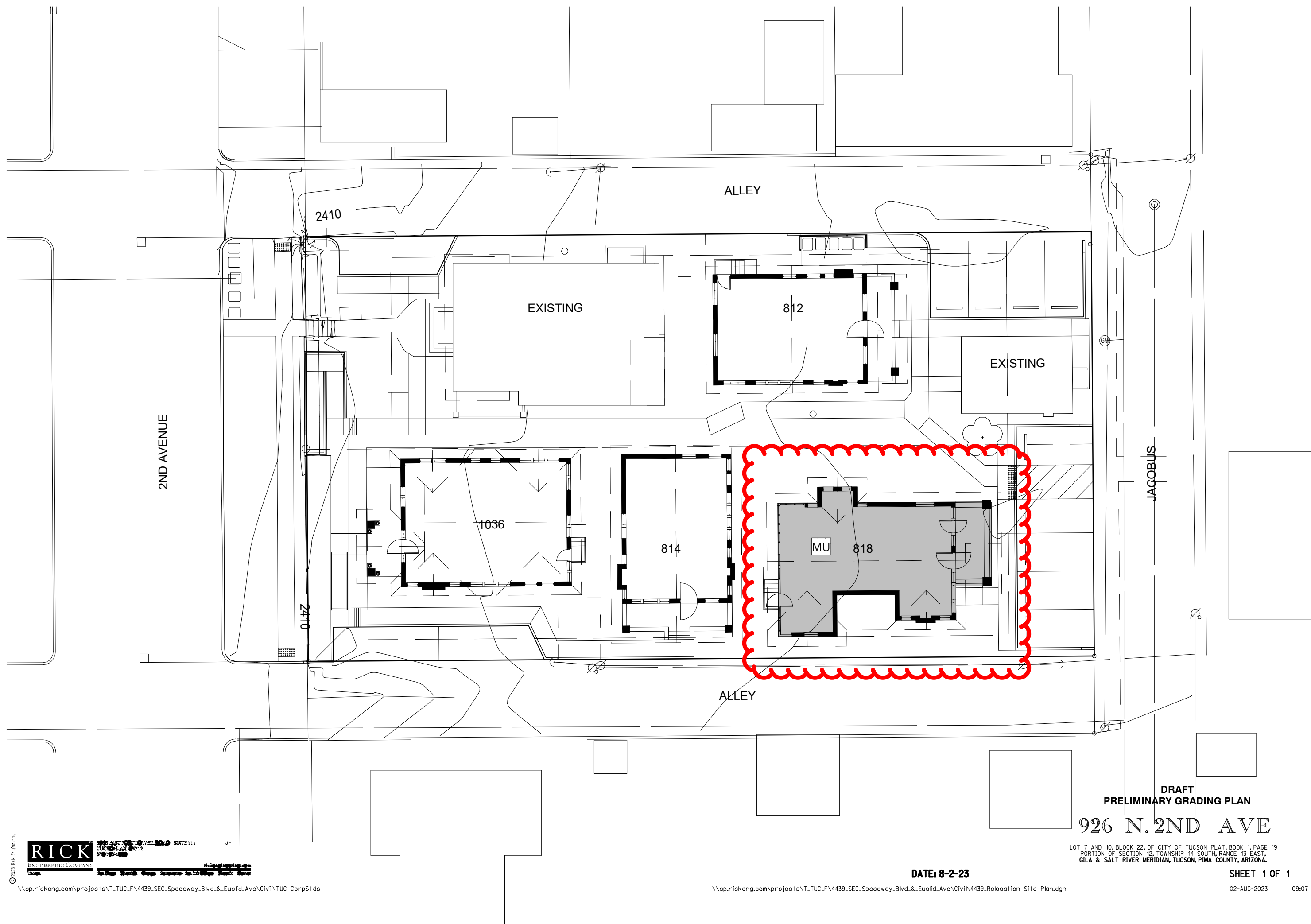
DOOR SCHEDULE										818
NO.	DESCRIPTION	SIZE		TYPE	MATERIAL	FINISH	COLOR	GLAZING	COMMENTS	
1	FRONT DOOR	3'-10"	6'-8"	PANEL	WOOD	PAINTED		Y	1, 2, 3	
2	FRONT DOOR	2'-11"	6'-8"	PANEL	WOOD	PAINTED		Y	5	
3	BACK DOOR	3'-0"	6'-8"	PANEL	WOOD	PAINTED				
4	SIDE PORCH DOOR	3'-0"	6'-8"	FULL GLAZED	WOOD	PAINTED		Y	1, 2, 3	
5	SIDE PORCH DOOR (PAIR)	(2) 3'-0"	6'-8"	FULL GLAZED	WOOD	PAINTED		Y	1, 2, 3	

- COMMENTS LEGEND
- 1 SCRAPE, SAND, PRIME AND PAINT DOOR
 - 2 EXISTING HARDWARE TO BE RE-USED AND RE-KEYED.
 - 3 EXISTING DOOR TO REMAIN
 - 4 NEW DOOR
 - 5 EXISTING DOOR TO BE REMOVED AND WINDOW ADDED TO RESTORE ELEVATION TO ORIGINAL CONDITION

WINDOW SCHEDULE										818
MARK	DESCRIPTION	SIZE		TYPE	MATERIAL	FINISH	QTY	REPAIRS NEEDED Y/N	COMMENTS	
A	SINGLE	2'-4"	4'-0"	DOUBLE HUNG	WOOD	PAINTED	4	Y	1, 2	
B	SINGLE	3'-6"	4'-0"	DOUBLE HUNG	WOOD	PAINTED	1	Y	1, 2	
C	SINGLE	4'-0"	4'-0"	DOUBLE HUNG	WOOD	PAINTED	1	Y	1, 2	
D	SINGLE	2'-0"	3'-0"	DOUBLE HUNG	WOOD	PAINTED	4	Y	1, 2	
E	SINGLE	2'-0"	3'-6"	DOUBLE HUNG	WOOD	PAINTED	2	Y	1, 2	
F	SINGLE	2'-0"	4'-2"	DOUBLE HUNG	WOOD	PAINTED	3	Y	1, 2	
G	SINGLE	2'-0"	4'-2"	DOUBLE HUNG	WOOD	PAINTED	4	Y	1, 2	
H	SINGLE	2'-6"	3'-2"	DOUBLE HUNG	WOOD	PAINTED	5	Y	1, 2	
J	SINGLE	3'-0"	6'-8"	FIXED	WOOD	PAINTED	2	Y	1, 2	

- COMMENT LEGEND
- 1 SCRAPE, SAND, PRIME AND PAINT EXISTING WINDOWS TO REMAIN.
 - 2 ALL WINDOWS TO BE BOARDED WITH 1/2" OSB FOR MOVE.
 - 3 EXISTING AC UNIT TO BE DEMOLISHED AND WINDOW RESTORED TO ORIGINAL CONDITION
 - 4 SEE PLANS AND ELEVATIONS FOR SPECIFIC WINDOW IDENTIFIERS
 - 5 ANY NEW OR REPLACEMENT WINDOWS TO BE KOI BE HERITAGE SERIES OR APPROVED EQUAL MATCH EXISTING SIZE, OPERATION, DETAIL, AND COLORING

REPLACEMENT WINDOWS TO BE PROCURED PER THIS NOTE.



3 KEY PLAN - NEW LOCATION - 818 E SPEEDWAY

NTS | A2.04

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TUCSON SPEEDWAY HISTORICAL HOUSES RELOCATION

TUCSON, AZ

Capstone Collegiate Communities/JSC LLC

REVISION	DATE	REASON FOR ISSUE

818 - FLOOR PLANS
AND SCHEDULES


CONCEPT DESIGN

DATE	PROJECT NUMBER
04/09/2024	184170

SHEET NUMBER

A2.04

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Ankrom Moisan

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TUCSON SPEEDWAY HISTORICAL HOUSES RELOCATION

ANALYST
TUCSON, AZ

Capstone Collegiate Communities/JISC LLC

REVISION	DATE	REASON FOR ISSUE

818 - RELO
ELEVATIONS

CONCEPT DESIGN

DATE 04/09/2024	PROJECT NUMBER 184170
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SHEET NUMBER

A3.04

GENERAL NOTES - EXTERIOR ELEVATIONS

- REFER TO FLOOR PLAN SHEET FOR "PROJECT NOTES" APPLICABLE TO ALL PORTIONS OF THE WORK.
- ELEVATIONS NOTED ARE RELATIVE TO SEA LEVEL. SEE CIVIL FOR GRADING INFORMATION.
- SEE FLOOR PLAN SHEET FOR DOOR AND WINDOW SCHEDULE INFORMATION.
- SEE DETAIL SHEET FOR EXISTING CONDITION PHOTOS.

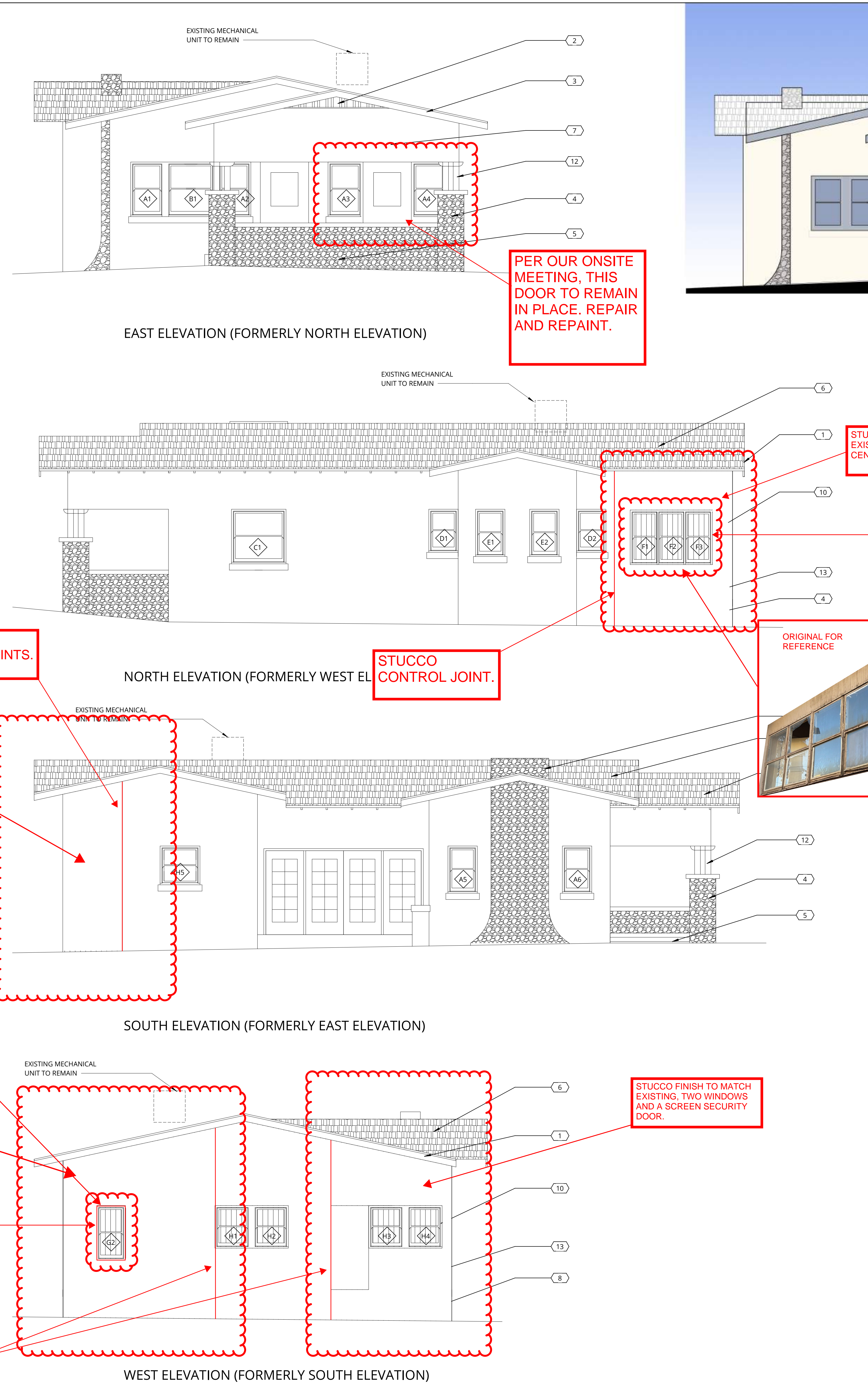
KEYNOTES - 818 E SPEEDWAY

- ROOF FASCIA, EXPOSED RAFTER TAILS, AND ALL WOOD TRIM TO BE SCRAPPED, PRIMED AND PAINTED. (TM-1)
- WOOD VENTING IN GABLE END TO BE SCRAPPED, PRIMED AND PAINTED. (TM-1)
- PORCH ROOF AND EAVE TO BE DECONSTRUCTED AND SALVAGED FOR MOVE. PORCH ROOF TO BE RE-BUILT TO MATCH EXISTING CONDITION WITH SALVAGED MATERIALS.
- PORCH PIERS TO BE DECONSTRUCTED AND COBBLESTONE TO BE SALVAGED, MARKED/NUMBERED TO RECORD PLACEMENT. PORCH PIERS TO BE REPLICATED AND SHEATHED WITH SALVAGED COBBLESTONE.
- NEW CONCRETE PORCH SLAB TO BE POURED. NEW SLAB WILL BE TEXTURED AND SCORED TO MATCH EXISTING. SCORING OF THE PORCH SLAB SHALL BE DOCUMENTED SO THAT IT CAN BE ACCURATELY REPLICATED.
- NEW DIMENSIONAL ASPHALT SHINGLES TO BE APPLIED. (R-1)
- EXISTING TEXTURED STUCCO SHEATHING TO REMAIN INTACT, PATCHED AND REPAIRED AS NEEDED WITH MATERIAL MATCHING THE EXISTING FINISH. (W-1)
- NEW STRUCTURAL STEM WALL AND FOOTING. EXTERIOR FINISH TO MATCH EXISTING CONDITION. SEE DETAIL 2/A3.04. (STEM-1)
- COBBLESTONE AT FOUNDATION/STEM WALL TO BE SALVAGED FOR RE-USE AS VENEER ON NEW FOUNDATION STEM WALL. SEE DETAIL 3/A3.04. (STEM-2)
- WINDOW FRAMES TO BE REPAIRED AND PAINTED AS NEEDED SUCH THAT WINDOWS ARE VISIBLE. REPLACEMENT OF WINDOWS, SILL OR SASH TO BE DONE BY CONTRACTOR, ONLY IF WARRANTED AND APPROVED BY CITY OF TUCSON HP. SEE WINDOW SCHEDULE ON SHEET A2.04.
- CHIMNEY TO BE DECONSTRUCTED. COBBLESTONE TO BE SALVAGED AND TRANSPORTED TO NEW SITE. CHIMNEY TO BE RE-BUILT TO MATCH EXISTING HEIGHT. EXTERIOR OF RE-BUILT CHIMNEY TO BE SHEATHED WITH SALVAGED COBBLESTONES, ABOVE AND BELOW ROOF. (CH-1)
- CLUSTED PORCH POSTS TO BE SALVAGED AND RE-INSTALLED. (COL-1)
- EXISTING WOOD SIDING (W-2) TO REMAIN, SEE EXTERIOR MATERIAL SCHEDULE.

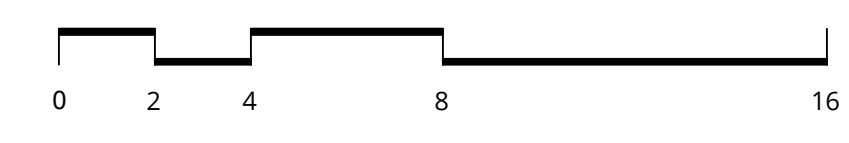
EXTERIOR MATERIAL SCHEDULE

	DESCRIPTION	EXISTING	NEW	TEXTURE	COLOR	TYPE	COMMENTS
ROOF							
R-1	DIMENSIONAL ASPHALT SHINGLES		X		FOX HOLLOW GRAY	HDZ SERIES	HDZ SERIES SHINGLE BY GAF
WALLS							
W-1	STUCCO	X		HEAVY DASH, MATCH EXISTING	MATCH EXISTING		PATCH, REPAIR AND PAINT EXISTING.
W-2	WOOD SIDING	X		SMOOTH, MATCH EXISTING	DE6332 GLEN FALLS		PATCH, REPAIR AND PAINT EXISTING.
COL-1	COBBLESTONE COLUMNS	X		MATCH EXISTING			
TRIM							
TM-1	WOOD TRIM	X		SMOOTH	DE6332 GLEN FALLS		SCRAPE, PRIME, AND PAINT EXISTING TRIM
FOUNDATION							
STEM-1	STUCCO OVER NEW STRUCTURAL STEM WALL		X	HEAVY DASH, MATCH EXISTING	MATCH EXISTING		
STEM-2	COBBLESTONE VENEER OVER NEW STRUCTURAL STEM WALL	X		MATCH EXISTING	MATCH EXISTING		USE SALVAGED MATERIAL FOR VENEER FACING
PORCH SLAB	CONCRETE WITH 24"x30" SCORE JOINTS		X	BROOM FINISH	DAVIS COLORS - MESQUITE 677		CONTRACTOR TO DOCUMENT EXISTING SCORE JOINTS PRIOR TO RELOCATION AND MATCH AT NEW PORCH SLAB.
CHIMNEYS							
CH-1	COBBLESTONE VENEER	X		MATCH EXISTING	MATCH EXISTING		PRIMARY CHIMNEY TO BE DE-CONSTRUCTED FOR MOVE AND RE-BUILT AT NEW LOCATION WITH SALVAGED MATERIALS.

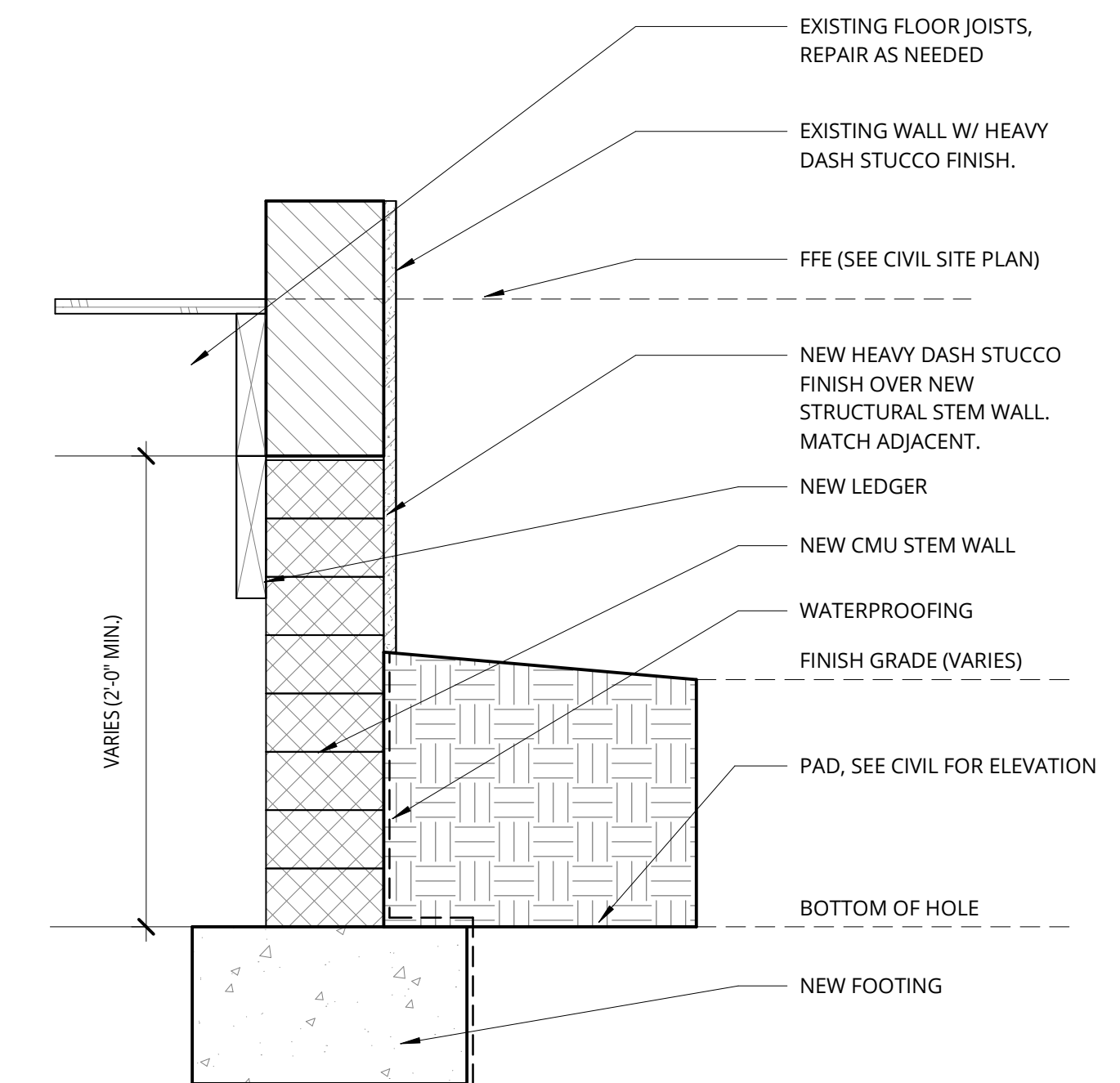
5/18/2024 11:16:07 AM
184170
Tucson Speedway SH 18417003
P:\Capstone Collegiate Communities\JISC LLC\818 - RELO ELEVATIONS



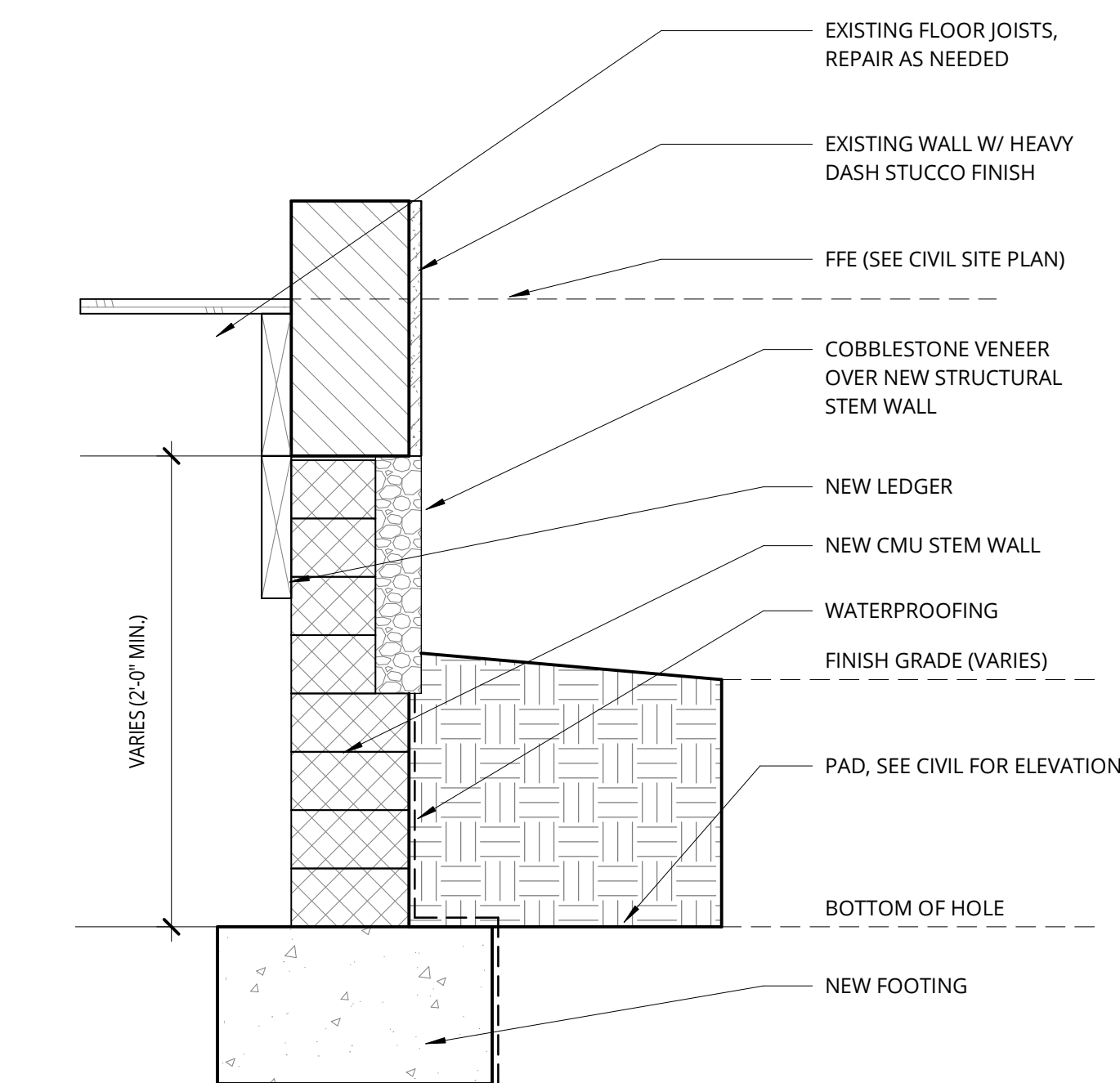
1 818 E SPEEDWAY - EXTERIOR ELEVATIONS
1/4" = 1'-0"



2 FOUNDATION DETAIL - 818 (STEM-1)
1 1/2" = 1'-0"



3 FOUNDATION DETAIL - 818 (STEM-2)
1 1/2" = 1'-0"



5/18/2024 11:16:15 AM

P:\Capstone Collegiate Communities\Tucson Speedway\Tucson Speedway SH - 184170\03 Working\SH - 184170\03 Working\01 Report\84170_24_Tucson Speedway Historic Houses Elevations New Site.rvt



EAST ELEVATION (FORMERLY NORTH ELEVATION)

- EAVES, RAKES AND RAFTER TAILS TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED.
- CLUSTERED PORCH POSTS TO BE SALVAGED AND RE-INSTALLED.
- COBBLESTONE COLUMN TO BE DECONSTRUCTED, SALVAGED AND RE-INSTALLED AT NEW LOCATION.
- PARTIAL HEIGHT COBBLESTONE PORCH WALL TO BE DECONSTRUCTED, SALVAGED AND RECONSTRUCTED AT NEW LOCATION.



EAST ELEVATION (FORMERLY NORTH ELEVATION)

- BROKEN GLASS TO BE REPLACED. SEE PLANS AND WINDOW SCHEDULE FOR LOCATIONS.
- ORIGINAL ENTRY DOOR TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED. BROKEN GLASS TO BE REPLACED IN DOOR LITE.
- DOOR TRIM TO BE REMOVED AS NEEDED AND RESTORED TO NEW CONDITION.
- STUCCO FINISH TO BE PATCHED, TEXTURED AND PAINTED TO MATCH ADJACENT WALL.
- NEW CONCRETE FLOOR SLAB TO MATCH EXISTING FOR COLOR, TEXTURE AND SCORING PATTERN.



SOUTH ELEVATION (FORMERLY EAST ELEVATION)

- WINDOWS FRAMES TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED. SEE WINDOW SCHEDULE FOR MORE INFORMATION.
- EXISTING UTILITIES TO BE DEMOLISHED. PATCH STUCCO FINISH AS REQUIRED TO MATCH EXISTING ADJACENT WALL.
- PRIMARY COBBLESTONE CHIMNEY TO BE DECONSTRUCTED, SALVAGED AND RE-BUILT AT NEW LOCATION.
- STUCCO FINISH TO BE PATCHED, TEXTURED AND PAINTED TO MATCH ADJACENT WALL.



EAST ELEVATION (FORMERLY NORTH ELEVATION)



EAST ELEVATION (FORMERLY NORTH ELEVATION)

- BROKEN GLASS TO BE REPLACED. SEE PLANS AND WINDOW SCHEDULE FOR LOCATIONS.
- NON-ORIGINAL DOOR TO BE DEMOLISHED AND REPLACED WITH WINDOW TO RESTORE ORIGINAL CONDITION. SEE ELEVATIONS.
- PARTIAL HEIGHT COBBLESTONE PORCH WALL TO BE DECONSTRUCTED, SALVAGED AND RECONSTRUCTED AT NEW LOCATION.
- NEW CONCRETE FLOOR SLAB TO MATCH EXISTING FOR COLOR, TEXTURE AND SCORING PATTERN.



SOUTH ELEVATION (FORMERLY EAST ELEVATION)

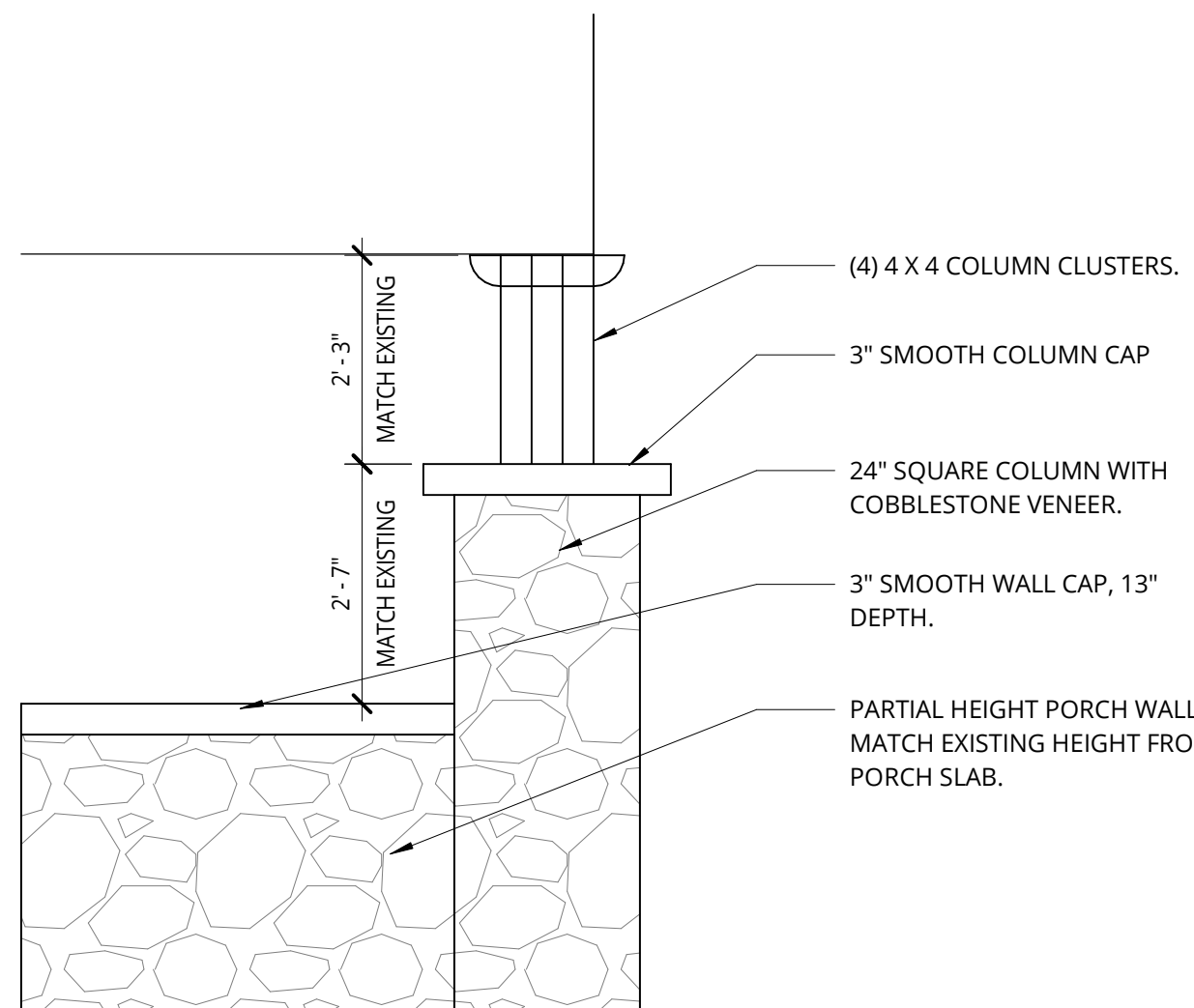
- PRIMARY COBBLESTONE CHIMNEY TO BE DECONSTRUCTED, SALVAGED AND RE-BUILT AT NEW LOCATION.
- EAVES, RAKES AND RAFTER TAILS TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED.
- PRIMARY COBBLESTONE CHIMNEY TO BE DECONSTRUCTED, SALVAGED AND RE-BUILT AT NEW LOCATION.



SOUTH ELEVATION (FORMERLY EAST ELEVATION)

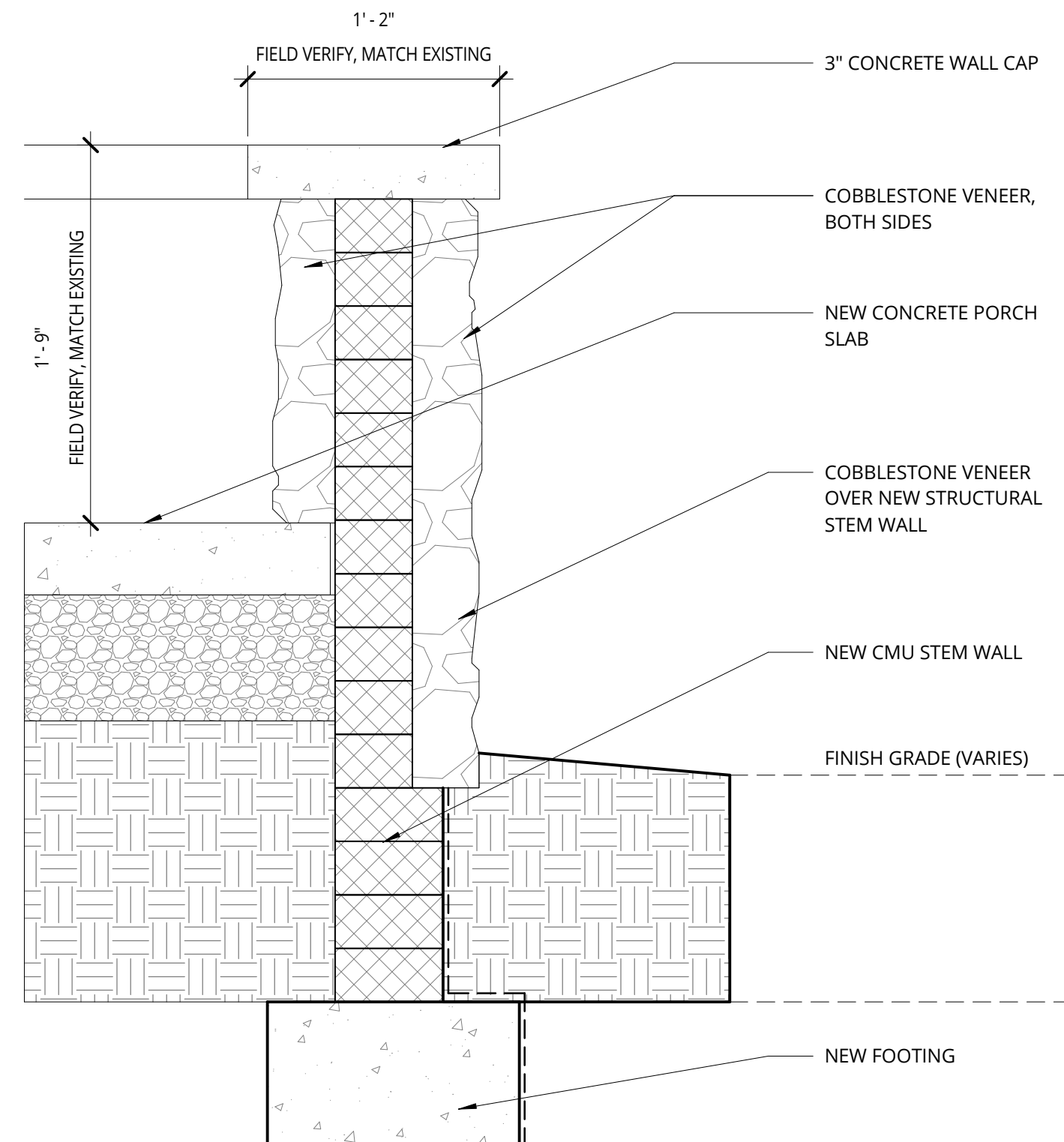
- EXISTING WOOD SIDING TO BE SCRAPPED, SANDED, PRIMED, AND PAINTED.
- WINDOW MOUNTED AC UNIT TO BE REMOVED.
- STUCCO FINISH TO BE PATCHED, TEXTURED AND PAINTED TO MATCH ADJACENT WALL.

PER OUR ONSITE MEETING, THIS DOOR TO REMAIN IN PLACE. REPAIR AND REPAINT.



1 COLUMN DETAIL - 818

1/2" = 1'-0"



2 PORCH WALL DETAIL - 818

1 1/2" = 1'-0"

NOT FOR CONSTRUCTION



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TUCSON SPEEDWAY HISTORICAL HOUSES RELOCATION

TUCSON, AZ

Capstone Collegiate Communities/JISC LLC

REVISION	DATE	REASON FOR ISSUE

818 - DETAILS

CONCEPT DESIGN

DATE 04/09/2024	PROJECT NUMBER 184170
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SHEET NUMBER

A7.24



PICTURE DOCUMENTATION
FROM OUR ONSITE MEETING
TO SHOW CURRENT STAGE
OF WOOD SIDING.



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OLD PICTURE FOR REFERENCE.



PROPOSED WINDOW REPLACEMENT FOR NORTH AND WEST ELEVATION.
THIS IN LINE WITH COMMENT LEGEND #5 ON THE APPROVED PLANS SHEET
A2.04, REFERENCE BELOW-

5

ANY NEW OR REPLACEMENT WINDOWS TO BE KOLBE HERITAGE SERIES OR APPROVED EQUAL.
MATCH EXISTING SIZE, OPERATION, DETAIL, AND COLORING

KOLBE
WINDOWS & DOORS

Heritage Series





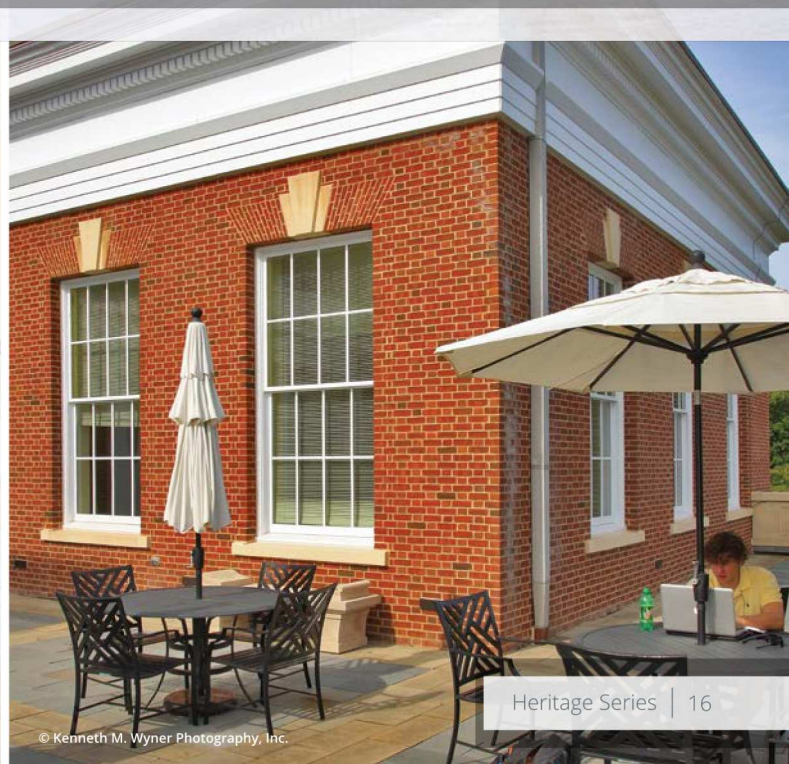
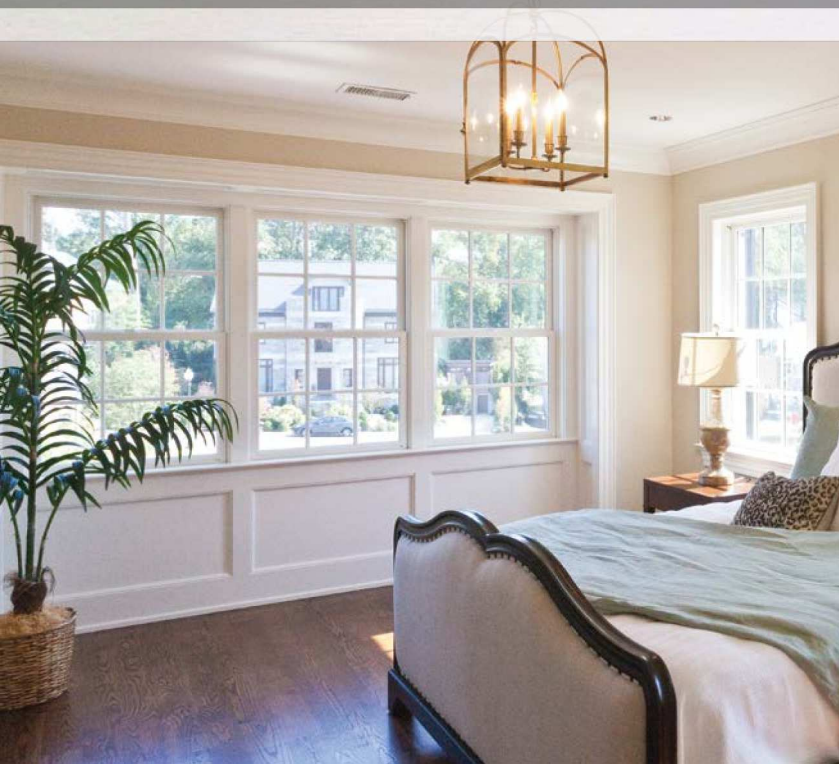
Photo provided by North Atlantic Corp

[Click to view more: kolbewindows.com/gallery](https://kolbewindows.com/gallery)

Double Hungs

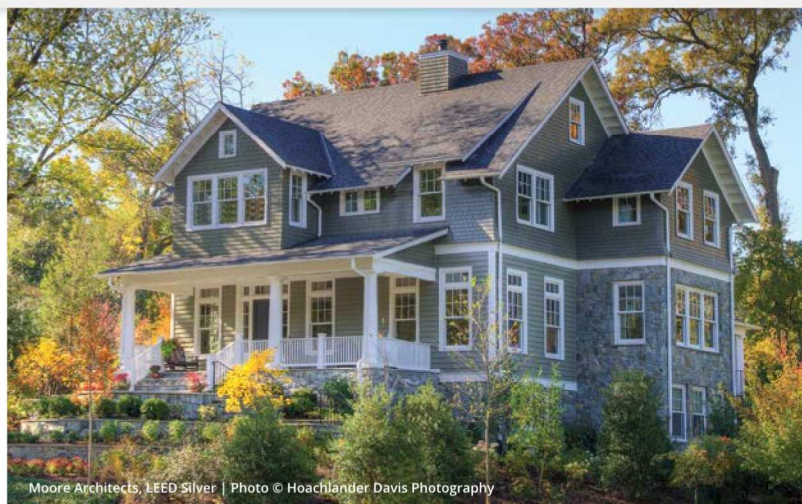
Kolbe offers a variety of double hung windows for residential or commercial projects, from historic restoration to remodeling. Quality details adorn the classic design of Heritage Series all-wood double hungs, with smooth operation, venting options, and removable sash for easy cleaning. There are many options and configurations to choose from, including cottage-style and radius-topped units or triple pane glass options for increased energy efficiency.

*Sterling Double Hungs | XL Sterling Double Hungs | Traditional Double Hungs
Old World Classic Double Hungs | Cottage-Style & Reverse-Cottage Style | Studio & Transom Units
Picture Combination Units | Segment Head & Half-Circle Top Units | Single Hungs*



Traditional Double Hungs

Kolbe's traditional double hungs offer classic styling, with a sloped sill to help guard against water damage. Available as cottage-style units or radius-top shapes, traditional double hungs open and close smoothly and effortlessly, with a tilt-in or removable sash for easy cleaning.



Standard Features – Traditional Double Hung

- ▶ 1-3/8" thick sash
- ▶ Overall jamb depth is 4-9/16" (*basic box depth is 4-9/16"*)
- ▶ Frame thickness is 3/4" at side jambs and head
- ▶ Sill thickness is 1-3/16"; slope is 14°
- ▶ Constructed of pine, with pine interior stops and wood mull casings on mull units
- ▶ 1-15/16" exterior brickmould applied
- ▶ Exterior wood parts are treated
- ▶ Exterior frame and sash are latex primed
- ▶ Energy efficient, insulating Solar Low-E glass
- ▶ Glazed to the interior with beveled wood glazing beads
- ▶ Rigid PVC head parting stop with flexible fins and waterseal at the sill
- ▶ Clay-colored heavy duty sash lock
- ▶ Machined finger grooves on the top rail of the upper sash and bottom rail of the lower sash
- ▶ Spring-loaded block-and-tackle mechanical balances to carry the sash weight
- ▶ Beige PVC jamb liners with compression foam backing

Options – Traditional Double Hung (custom options are also available)

- ▶ K-Kron II exterior paint finish
- ▶ Interior casing
- ▶ Prep for stool
- ▶ Exterior brickmould and casing (*pg. 8*)
- ▶ Projected sill nosing, extended sill horns or no sill nosing
- ▶ No finger grooves in top, bottom or both sash
- ▶ White jamb liners
- ▶ Extension jambs (*up to 12" applied, over 12" shipped loose for field application*)
- ▶ Full or half screens with aluminum frames and options for BetterVue® or UltraVue® fiberglass screen mesh or aluminum screen mesh; frames will match the exterior color of the unit
- ▶ Factory-installed Window Opening Control Device (WOCD)
- ▶ Sash limiters for safety
- ▶ Galvanized steel installation clips

[View Style Options & Technical Data ▶](#)

(Click to view hardware, glass, divided lites, finishes, and more, as well as performance and specification details.)

Finish Options

Exterior Colors

Most Heritage Series windows and doors are coated on the exterior with latex primer, ready for your choice of topcoat. Kolbe also offers K-Kron II – a durable exterior finish that enhances and preserves the look of wood windows and doors.

				White	Cloud	Ultra Pure White
				Abalone	Alabaster	Camel
Mudpie	Nutmeg	Khaki	Sahara	Beige	Natural Cotton	Spiced Vinegar
Gingersnap	Truffle	Rustic	Shadow	Shale	Smokestack	Timberwolf
Sapphire	Coastal Storm	Lunar	Steel Gray	Slate	Castlerock	Emerald Isle
Cider	Copper Canyon	Basil	Mystic Ivy	Mediterranean	Green Tea Leaf	Hartford Green
Chutney	Roma	Maize	Custom Colors Available			

Wire Brush Finish

Most of Kolbe’s Heritage Series wood windows and doors can be further enhanced by our custom wire brush finish. Wire brushing creates a rugged texture and adds character to complement any rustic design.

Due to the nature of the finishes, certain limitations apply. Contact your local Kolbe dealer for more information.



Some options for our products may have limited color offerings or may incur a nominal charge. Check with your Kolbe dealer for further details on pricing and availability.
Printed images of exterior finishes may vary slightly from actual colors. Selections should be made based on color samples available from your Kolbe dealer.