



MEMORANDUM

DATE: August 20, 2024
For September 5, 2024 Hearing

TO: John Iurino
Zoning Examiner

FROM: Kristina Swallow, Director
Planning & Development Services

SUBJECT: REZONING - PLANNING & DEVELOPMENT SERVICES REPORT
TP-ENT-0624-00015 – Autobody Repair, 1305 S. Alvernon Way, C-2 to C-3
(Ward 6)

Issue – This is a request by Peters Jepson Partnership, on behalf of the property owners Vet West Investment to rezone 3.6 acres from C-2 Commercial to C-3 Commercial, for the purpose of an autobody repair facility. The autobody repair facility will utilize the existing 14,934 square foot building located 1305 S. Alvernon Way. The site is located at the southeast corner of East 22nd Street and South Alvernon Way intersection (see Case Location Map). The revised Preliminary Development Plan (PDP) retains the building height, setbacks, landscaping and circulation as indicated in the 2013 Development Package. Additionally, the PDP also includes bike parking.

Planning & Development Services Recommendation – The Planning & Development Services Department recommends approval of the rezoning request subject to the attached revised preliminary conditions.

Background Information

Existing Land Use: Mixed Office, Warehouse

Zoning Descriptions:

Existing: Commercial Zone (C-2): This zone provides for general commercial uses that serve the community and region. Residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses.

Proposed: Commercial Zone (C-3): This zone provides for mid-rise development of general commercial uses that serve the community and region, located downtown or in other major activity center areas. Residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses

Surrounding Zones and Land Uses:

North: C-2; Commercial, Restaurant
South: C-3; Commercial, Fuel Retail
East: C-2; Commercial, Auto sales
West: C-2; Commercial, Retail

Previous Cases on the Property: None

Related Cases: None

Applicant's Request – The new tenant Crash Champions Collision Repair intends to operate a full-service body shop with a paint booth within the existing building.

Neighborhood Meeting – The applicant team held an in-person neighborhood meeting at 5:30 pm on June 3, 2024. One individual attended this meeting. The applicant's representative shared updates regarding change of use and ownership.

Planning Considerations – Land use policy direction for this area is provided by *Plan Tucson*.

Plan Tucson

Plan Tucson Future Growth Scenario Map illustrates different building blocks within the city that have specific policies to promote future growth opportunities. The proposed development lies within the Mixed-Use Corridors building block of the Future Growth Scenario Map. Mixed-Use Corridors provide a high intensity mix of jobs, services, and housing along major streets. The businesses and residence within these corridors will be served by a mix of high frequency transit options, as well as pedestrian and bicycle facilities. The following plan policies support commercial infill adjacent to residential:

- **LT28.6.3** Support community commercial and office uses located at the intersections of arterial streets, taking into consideration traffic safety and congestion issues.
- **LT28.6.5** Support residentially-scaled neighborhood commercial and office uses along collector streets if the building is residentially scaled; the site design is pedestrian-oriented; the use will not generate significant auto traffic.
- **LT28.6.6** Support the redevelopment and/or expansion of existing strip commercial development that will improve traffic flow, pedestrian mobility and safety, and streetscape quality when:
 - a) The project stabilizes and enhances the transition edge when adjacent to existing and future residential uses;
 - b) Primary access can be generally provided from a major street;
 - c) Required parking, loading, and maneuvering can be accommodated on site;
 - d) Screening and buffering of adjacent residential properties can be provided on site;
 - e) Adjacent uses can consolidate design elements, where feasible, such as access points, parking, landscaping, and screening;

- f) Current or future cross access between parcels and uses can be feasibly accommodated; and
 - g) Buildings and their associated activities, such as, but not limited to, loading zones and dumpsters, can be oriented away from adjacent residential uses, toward the interior of the site or toward boundaries adjacent to similar uses.
- **LT28.6.12** Support infill and redevelopment projects that reflect sensitivity to site and neighborhood conditions and adhere to relevant site and architectural design guidelines.

Planning Considerations

Land Use Compatibility: *Plan Tucson* emphasizes design compatibility of new projects with adjacent land uses. The surrounding zoning is comprised of C-2 and C-3 with vehicle sales and other repair shops to the west and east. Similarly, 2 autobody repair facilities are located west of the 22nd street. The proposed autobody use would operate within the existing building and site. The building would remain largely as it is today with no expansion or height increase. The building currently has two garage type overhead doors on both the north and south elevations. The south elevation has limited visibility from East Juarez Street. At nearly 400 feet, the closest residential land use is located southeast of the subject parcel with a main entrance accessible via E. Juarez Street. The loading and function of the larger commercial function are largely shielded by a natural wash which runs westerly and parallel to E. Juarez Street. The wash serves as a buffer between the residential and commercial uses. Additionally, the building setbacks are greater than required for C-3.

Traffic and Accessibility: The proposed development is located within a larger development known as “Randolph Plaza Subdivision”. The subject parcel is largely accessed from 22nd Street and Alvernon Way. The assortment of parcels located in the southeast corner share interior access lanes and multiple driveways, and as a result the subject parcel functions as an extension of the intersection. Accessibility in reference to bicycle parking should be incorporated in future site improvements.

Conclusion – The proposed rezoning of the subject site from C-2 to C-3 is appropriate for this location, is compatible with existing surrounding land uses, and is in compliance with *Plan Tucson*. Subject to compliance with the attached preliminary conditions, approval of the requested C-3 zoning is recommended.

Preliminary Conditions

TP-ENT-0624-00015 – Auto Body Repair, 1305 S. Alvernon Way, C-2 to C-3 (Ward 6)

PROCEDURAL

1. A development package in substantial compliance with the preliminary development plan dated July 8, 2024, and required reports, are to be submitted and approved in accordance with the Administrative Manual, Section 2-06.
2. The property owner shall execute a waiver of potential claims under A.R.S. Sec. 12-1134 for this zoning amendment as permitted by A.R.S. Sec. 12-1134 (I) in the form approved by the City Attorney and titled "Agreement to Waive Any Claims Against the City for Zoning Amendment".
3. Historic or prehistoric features or artifacts discovered during future ground disturbing activities should be reported to the City of Tucson Historic Preservation Officer. Pursuant to A.R.S. 41-865 the discovery of human remains and associated objects found on private lands in Arizona must be reported to the Director of Arizona State Museum.
4. Any relocation, modification, etc., of existing utilities and/or public improvements necessitated by the proposed development shall be at no expense to the public.
5. Five years are allowed from the construction date to implement and effectuate all Code requirements and conditions of rezoning/special exception.

UTILITY EASEMENTS

6. No permanent structures, including walls and fences, may be constructed within the existing easements on this property. (TUCSON WATER)

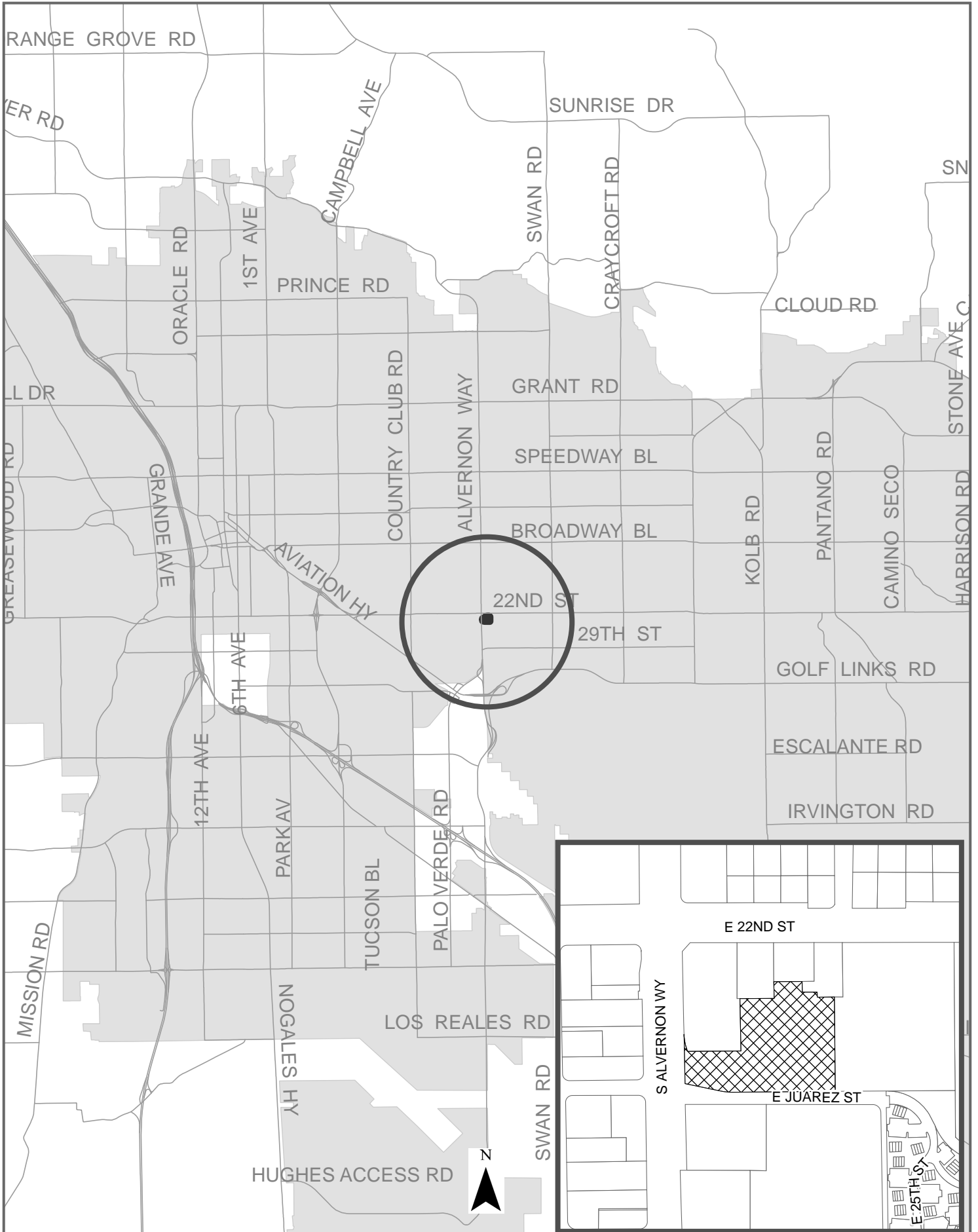
TRANSPORTATION

7. Provide short term accessible bicycle parking within 50 feet of each public entrance to a building per UDC 7.4.9.B.1 demonstrated to PDSD site inspection.

SIGNS

8. All sign lighting shall be controlled by timing device and shut off at midnight.

TP-ENT-0624-00015 - 1305 S ALVERNON WY



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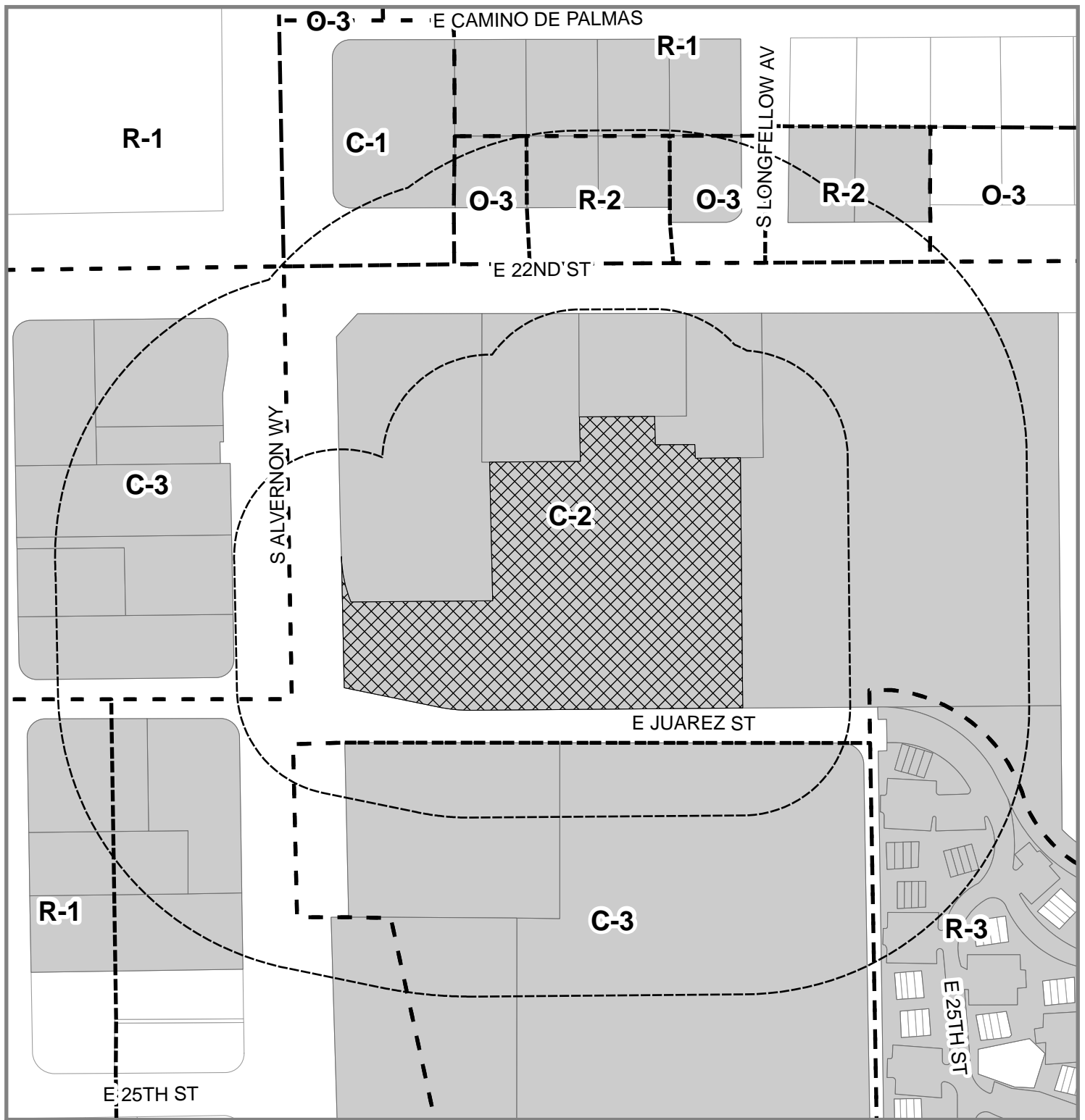
 Area of Rezoning

Address: 1305 S ALVERNON WY
Base Maps: Twp. 1403 Range 1402 Sec. 22
Ward(s): 6

0 90 180 Feet
1:2,332



TP-ENT-0624-00015 - 1305 S ALVERNON WY



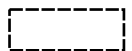
Area of Rezoning



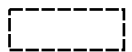
Zone Boundaries



Properties Notified



400' Notification Area



Protest Area (150 ft. Radius)

Address: 1305 S ALVERNON WY
Base Maps: Twp. 1403 Range 1402 Sec. 22
Ward(s): 6

0 90 180 Feet

1:2,332



REZONING
Preliminary Development Plan
TP-ENT- 0624-00015 Date 07/08/2024
Planning & Development Services

PROJECT SUMMARY

REQUEST FOR ZONING RE-DESIGNATION FROM EXISTING C-2 TO C-3.

CONVERSION OF EXISTING BUILDING INTO AN AUTOBODY COLLISION REPAIR FACILITY. (EXISTING BUILDING CURRENTLY FUNCTIONING AS AN INSURANCE CLAIMS OFFICE ASSOCIATED WITH AUTOBODY REPAIR SERVICES).

NO MODIFICATIONS TO THE SITE OR BUILDING, BEYOND CHANGING OF SIGNAGE IS PROPOSED.

THE CURRENT DEVELOPMENT ON THE SUBJECT PROPERTY WAS ENTITLED UNDER REVIEW# DP-13-0163, DATED SEPTEMBER 2013.

LEGAL DESCRIPTION

PARCEL 130-144-510, "IDENTIFIED AS BEING A PART OF THE RANDOLPH PLAZA SUBDIVISION".

ZONING

GENERAL PLAN DESIGNATION: "COMMERCIAL AND MIXED USE ZONE"

ZONING: CURRENTLY C-2
PROPOSING CHANGE TO C-3

PROPOSED USE: "TRADE SERVICE AND REPAIR, MAJOR AUTOMOTIVE BODYWORK AND PAINT BOOTHS".

PER TUDC 4.9.4.X.1: "IF LOCATED WITHIN 30 FEET OF A RESIDENTIAL USE OR ZONE, THE BUILDING WALLS SHALL HAVE NO OPENINGS, OTHER THAN NON-OPENING WINDOWS, WITH 30 FEET OF THE ADJACENT RESIDENTIAL USE OR BOUNDARY LINE". THIS IS NOT APPLICABLE IN OUR SITUATION.

PERIMETER YARD SETBACK (ADJACENT TO COMMERCIAL ZONES) 0'

STREET SETBACK (NON-RESIDENTIAL) MEASURED FROM STREET PROPERTY LINE 20'

STREET SETBACK FROM JUAREZ STREET: 20'

STREET SETBACK FROM ALVERNON WAY: 10'

(PER TUDC 6.4.5 C 2)

PARKING REQUIRED: (PER TUDC 7.4.4.1 (COMMERCIAL SERVICES) 1:300 SF

14,934 SF / 300 = 50 STALLS

PARKING PROVIDED: 89 STALLS

BICYCLE PARKING REQUIRED: (PER TUDC 7.4.4 (COMMERCIAL SERVICES) (2) LONG TERM

(2) SHORT TERM)

BUILDING DATA

OVERALL BUILDING AREA: 14,934 SF

OFFICE AREA (B OCCUPANCY): 2,371 SF

SHOP AREA (S-1 OCCUPANCY*): 12,563 SF

*S-1 OCCUPANCY IV/ APPROPRIATE STORAGE OF HAZARDOUS MATERIALS WITHIN PERMITTED QUANTITIES AND METHODS.

CONSTRUCTION TYPE: 11-B, FULLY SPRINKLERED

OCCUPANCIES: B, S-1

NUMBER OF STORIES: ONE

BUILDING HEIGHT: 28'-9"*

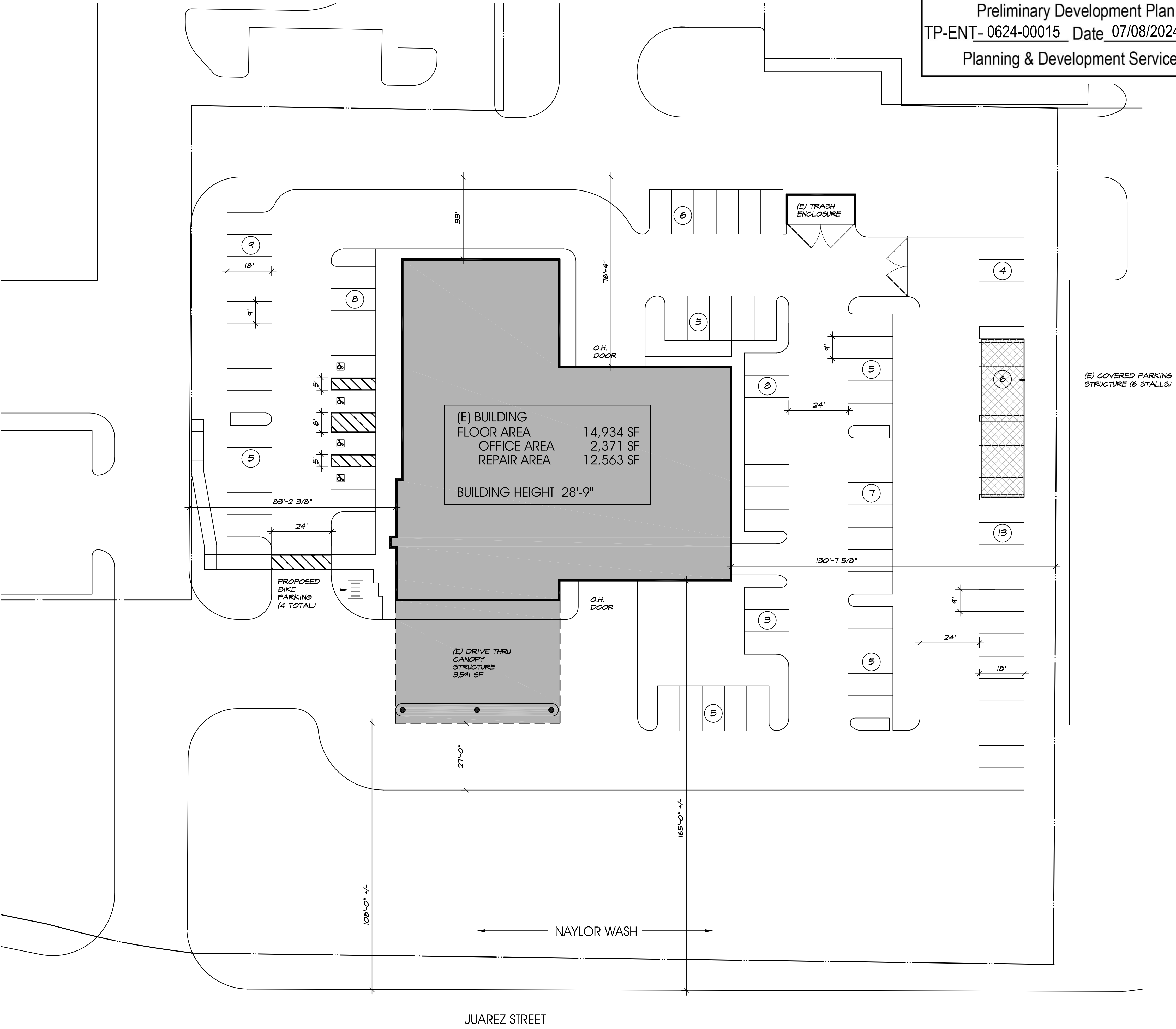
*15' MAXIMUM ALLOWED PER TUDC TABLE 6.3-4.A

DEVELOPER INFORMATION


VET WEST INVESTMENT GROUP
P.O. BOX 190
PLACENTIA, CA 92871
714-240-0410
CONTACT: STEVE VETTEL
E-MAIL: snvettel@gmail.com

SITE PLAN
SCALE: 1" = 20'-0"


NORTH



PETERS • JEPSON PARTNERSHIP, inc.
413 SOUTH GLASSSELL
ORANGE, CALIFORNIA 92866
(714) 288-8700
ARCHITECTURE & PLANNING



Rezoning Application (redesignation from C-2 to C-3)

VET WEST INVESTMENT GROUP
1305 S. Alvernon Way, Tucson, AZ.
APN 130-144-510

REVISIONS

DATE

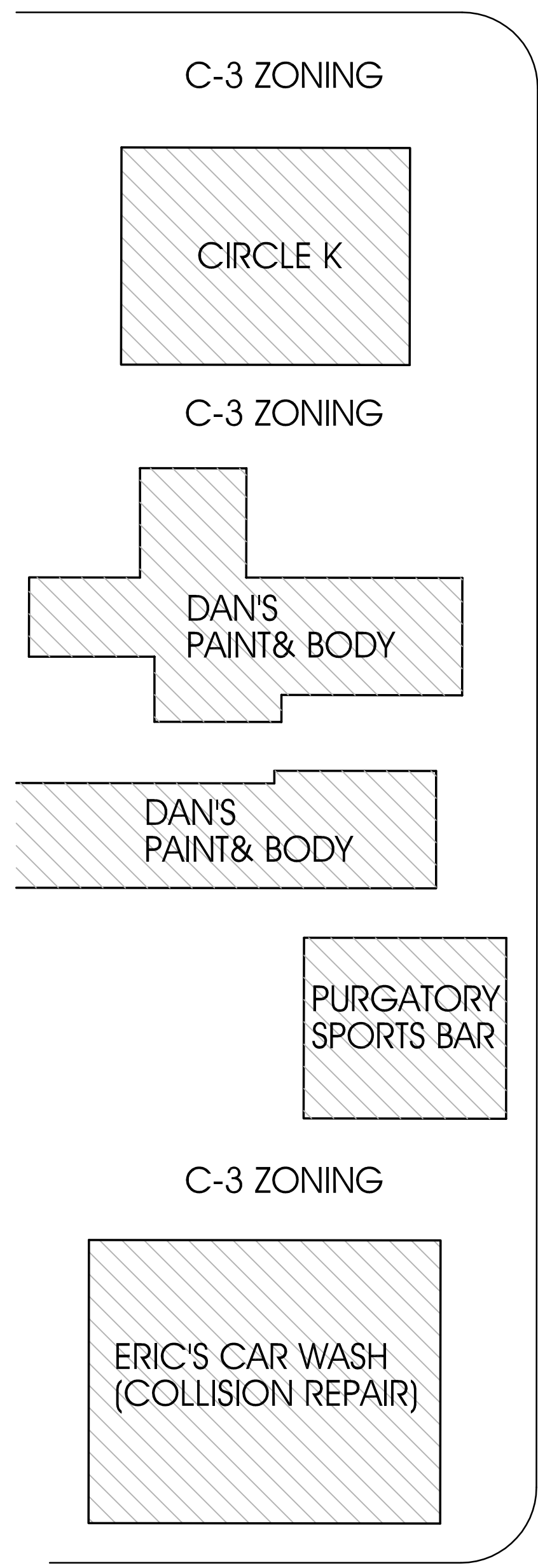
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PROJECT NO: TUCSON

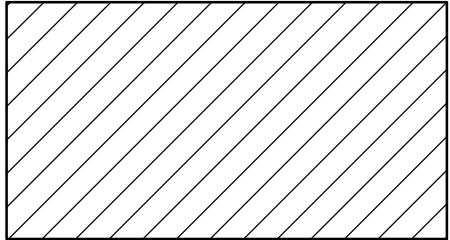
SITE PLAN

SHEET NO:

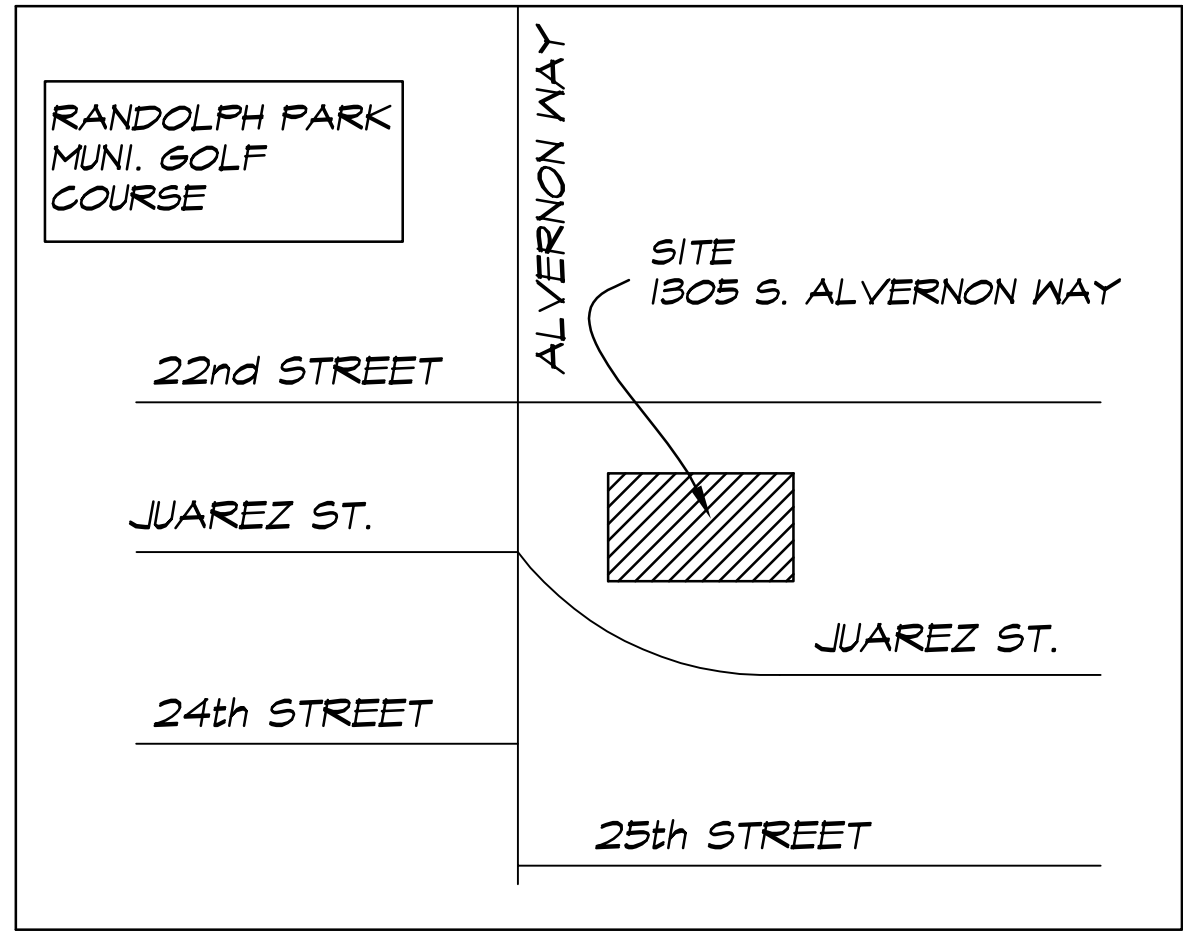
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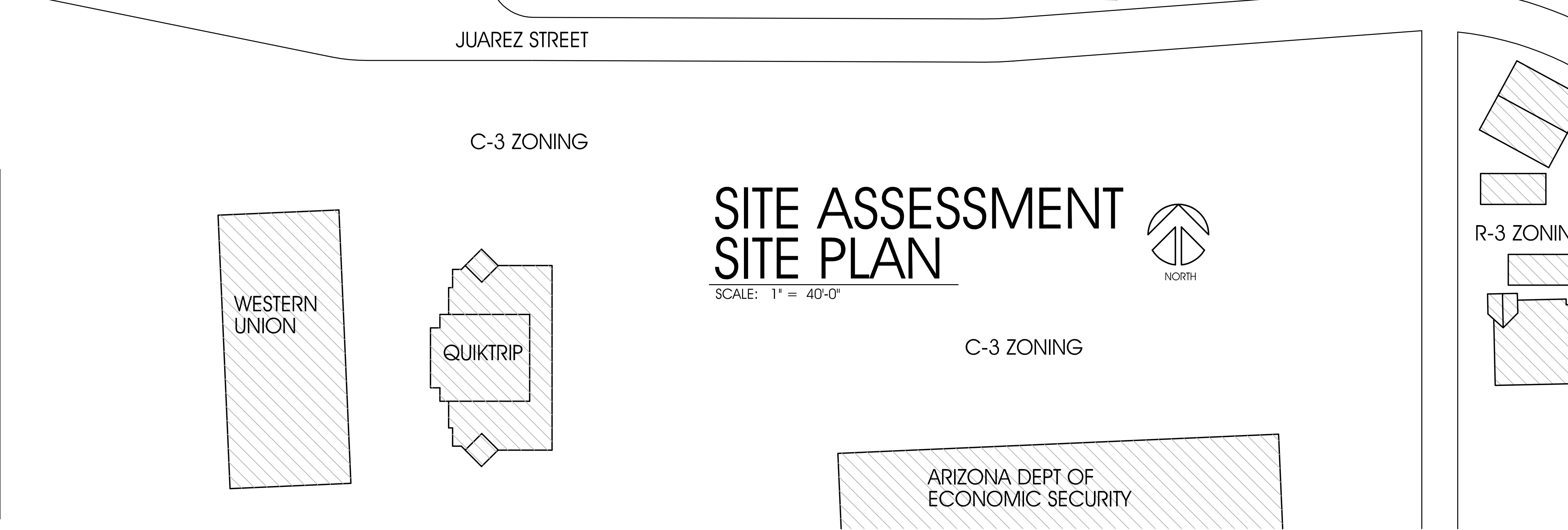
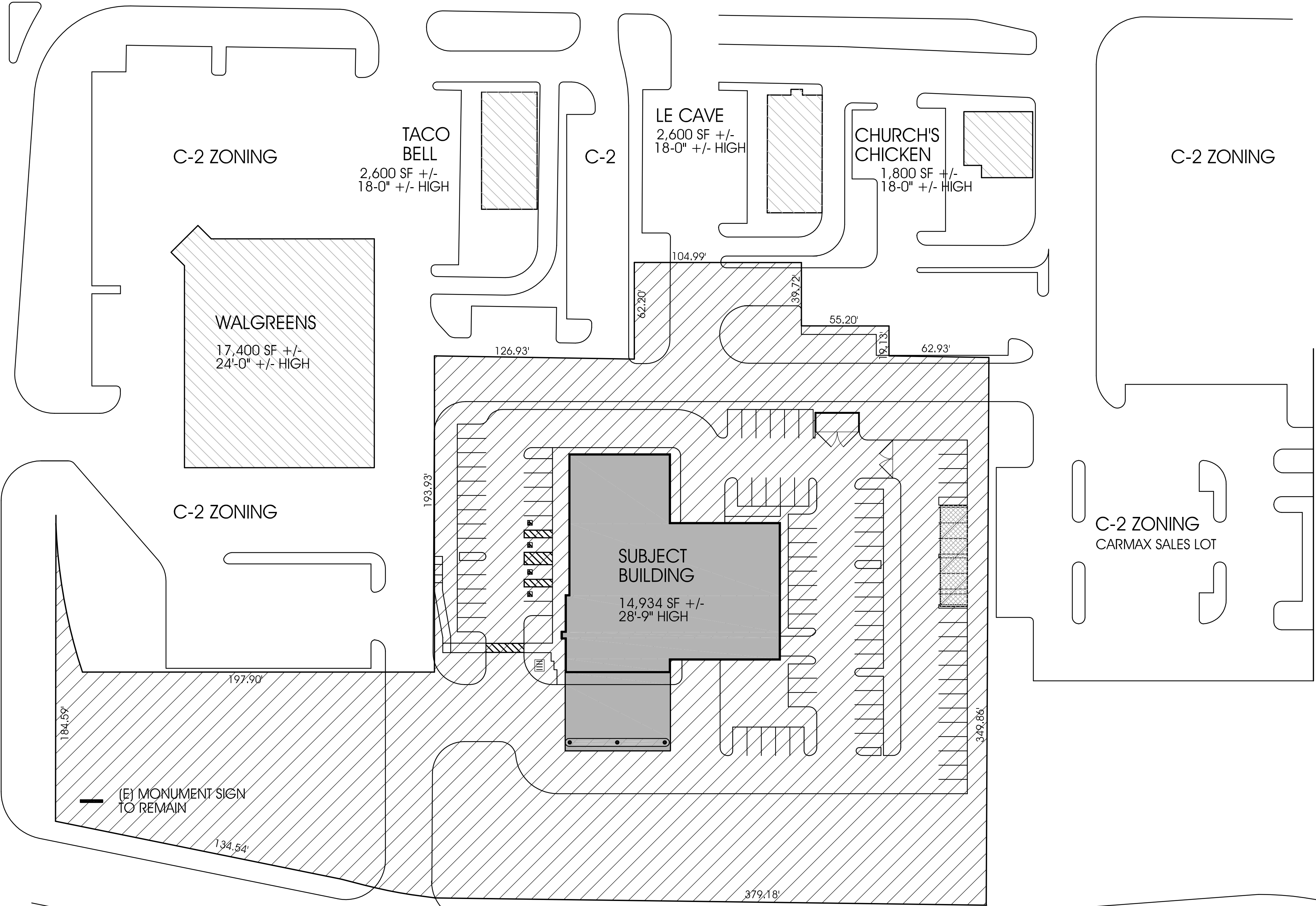
LEGEND



APN 130-144-510
SUBJECT PARCEL OF THIS
RE-ZONING ACTION
CURRENTLY C-2 TO C-3



ALVERNON WAY



EAST 22nd STREET

JUAREZ STREET

SITE ASSESSMENT SITE PLAN

SCALE: 1" = 40'-0"



C-3 ZONING

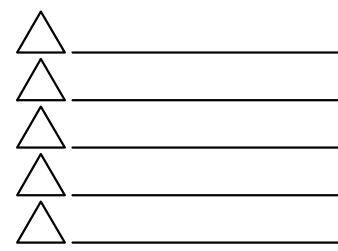
R-3 ZONING

Rezoning Application (redesignation from C-2 to C-3)

**VET WEST
INVESTMENT GROUP**

1305 S. Alvernon Way, Tucson, AZ.
APN 130-144-510

REVISIONS



DATE

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PROJECT NO. **TUCSON**

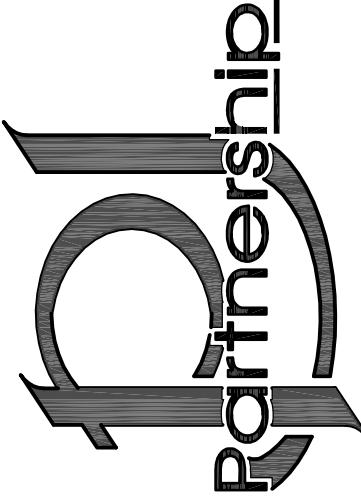
SITE PLAN

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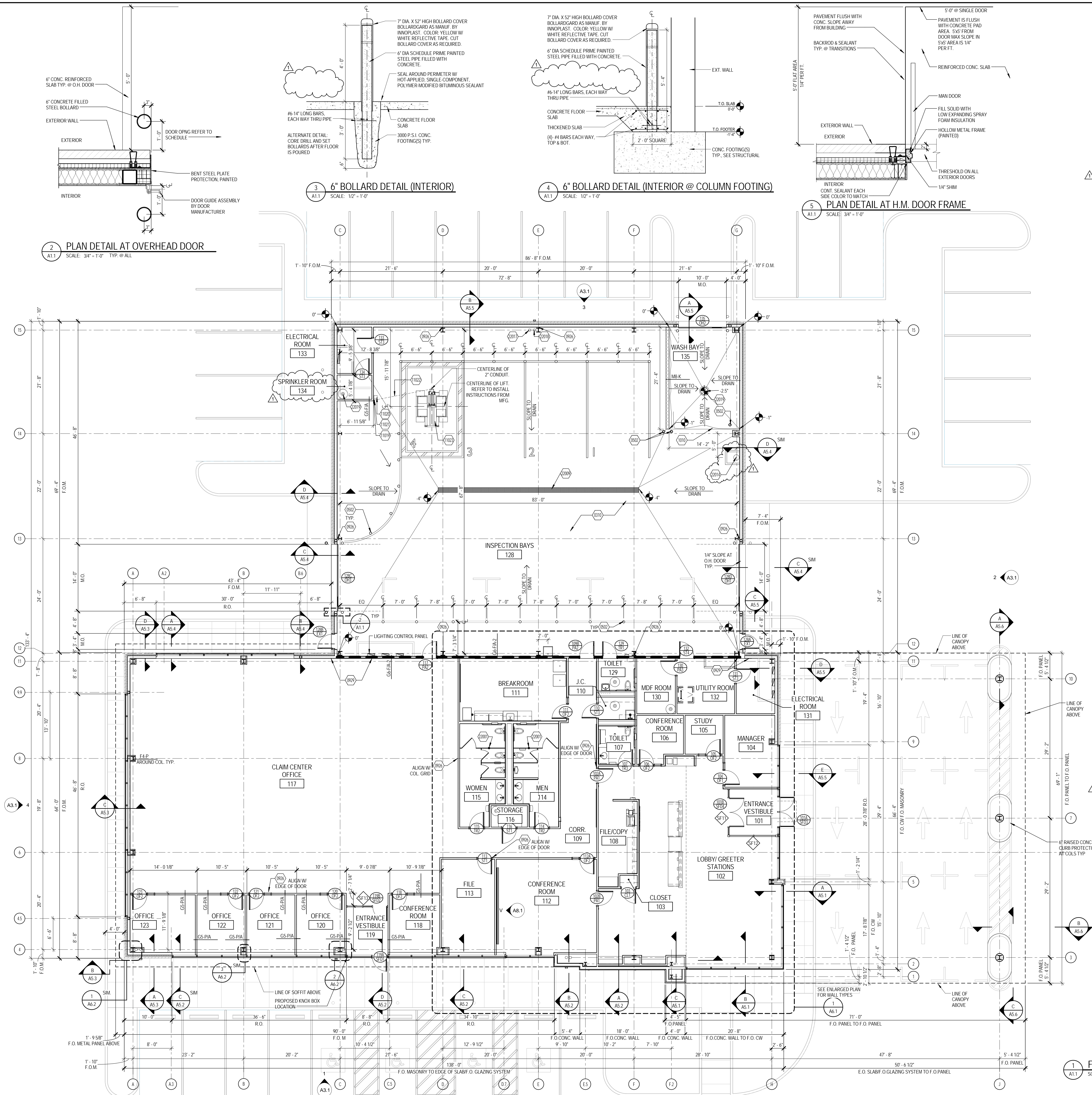
PETERS • JEPSON PARTNERSHIP, INC.

413 SOUTH GLASSSELL
ORANGE, CALIFORNIA 92866
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ARCHITECTURE & PLANNING

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KEYNOTE	DESCRIPTION
0310	REINFORCED CONCRETE SLAB SLOPED TO DRAIN. REFER TO STRUCTURAL DRAWINGS.
0502	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD AT BUILDING EXTERIOR WITH COVER REFER TO EXTERIOR BOLLARD DETAIL.
0926	ALUMINUM WALLS.
1010	WASH BAY CURTAIN, PROVIDED IN TWO SECTIONS. FIRST SECTION (ALONG CMU WALL) SHALL BE 7'-0" HANGING LENGTH FROM TRACK (BOTTOM OF CURTAIN AT 3'-4" A.F.F.). SECOND SECTION (ON OPEN SIDE OF BAY) SHALL BE 10'-0" HANGING LENGTH FROM TRACK (BOTTOM OF CURTAIN AT 4'-4" F.F.).
11019	PROVIDE OUTLET FOR HYDRAULIC POWER UNIT. MIN 1/8" A.F.F. REFER TO ELECTRICAL DRAWINGS.
11020	LIFT POWER UNIT MOUNTED TO STEEL POST PROVIDED WITH LIFT ANCHOR TO FLOOR PER MANUFACTURER'S INSTRUCTIONS WITH S.S. CONCRETE EXP. BOLTS.
11021	LOCATE 2" CONDUIT UP TURN AS CLOSE TO WALL AS POSSIBLE.
11022	UG CONDUIT IS FOR HYDRAULIC LINES FOR LIFT THAT COME WITH THE UNIT.
11023	PROVIDE ROTARY LOW RISE CAR LIFT MODEL VJ057, 7000 LBS. CAPACITY. BLUE COLOR. INSTALL LIFT PER MANUFACTURER'S INSTRUCTIONS.
22001	FLOOR DRAIN. REFER TO MEP DRAWINGS.
22002	INSTAL YONE WEL FLOOR DRAIN EYEWASH STATION GRAINGER ITEM #61084 (DO NOT INSTALL CARTRIDGE UNTIL PROJECT TURN OVER. INSTALL EYEWASH STATION AT 55" A.F.F. TO TOP OF UNIT. NO PLUMBING REQUIRED). SEE PLANS FOR LOCATION AND INSTALL BLOCKING SUPPORT OF UNIT.
22017	DRAIN PIPE FROM ROOF. REFER TO MEP DRAWINGS.
22018	OVERFLOW DRAIN PIPE FROM ROOF. REFER TO MEP DRAWINGS.
22019	FLOOR DRAIN. SLOPE FLOOR TO DRAIN 1/4" FOR 2'-0" DIA. AREA CENTERED ON DRAIN. REFER TO MEP DRAWINGS.

- GENERAL NOTES**
- REFERENCE FINISH FLOOR ELEVATION OF 0'-0" IS SET AT ACTUAL ELEVATION OF 47'-50" COORDINATE WITH CIVIL DRAWINGS FOR ACTUAL FINISHED FLOOR ELEVATION.
 - COORDINATE ALL METER LOCATIONS WITH CIVIL, PLUMB, AND ELEC. DWGS.
 - COORDINATE BUILDING TRANSFORMER LOCATION WITH CIVIL & ELEC. DWGS.
 - FOUNDATIONS AND FOOTINGS FOR ALL COLUMNS, PIERS AND WALLS SHALL BE IN ACCORDANCE WITH STRUCTURAL DRAWINGS AND SOILS ENGINEER'S RECOMMENDATIONS.
 - TOILET ROOM WALLS AND CEILING TO BE 5/8" WATER RESISTANT GYPSUM BOARD PAINTED, PROVIDE CEMENTITIOUS BACKER BOARD AT CERAMIC TILE.
 - SIDEWALK SLABS ON GRADE SHALL BE MINIMUM OF 4" CONCRETE W/6X6 1/4 W/W/ WITH NON-SLIP FINISH ON MINIMUM 4" COMPACTED POROUS FILL. CONTROL JOINTS SHALL BE SPACED APPROX. 5'-0" O.C. IN EACH DIRECTION OR AS SHOWN OTHERWISE. EXPANSION JOINTS SHALL OCCUR AT 20'-0" O.C.
 - FEC-2 DESIGNATES A SURFACE MOUNTED FIRE EXTINGUISHER CABINET. FEC-2 DESIGNATES A SEMI-RECESSED FIRE EXTINGUISHER CABINET. SHOP AREA - TYPE 4A-408 FIRE EXTINGUISHER WITH 50' TRAVEL DISTANCE. OFFICE AREA - TYPE 2A-108C FIRE EXTINGUISHER PER 1000 SQ. FT. WITH 75' TRAVEL DISTANCE.
 - KNOX BOX SHALL BE INSTALLED AT DESIGNATED EXTERIOR DOOR LOCATION CLOSEST TO FIRE DEPARTMENT CONNECTION OR PER DIRECTION OF FIRE DEPARTMENT.
 - ALL PRE-WIRED SYSTEMS FURNITURE SHALL HAVE U.L. LABELING.
 - PROGRESSIVE'S PROJECT MANAGER SHALL VERIFY WITH THE LOCAL POSTMASTER IF INSIDE MAIL DELIVERIES EXIST FOR THIS SITE. IF INSIDE MAIL DELIVERIES ARE NOT PROVIDED THE PROGRESSIVE'S P.M. WILL COORDINATE EXACT LOCATION OF THE MAILBOX REQUIRED. THE CONTRACTOR SHALL PROVIDE A \$500.00 ALLOWANCE FOR PURCHASE & INSTALLATION OF SELECTED MAILBOX TO SUIT SITE CONDITIONS.
- FOR CURBSIDE MAILBOX: SOLAR GROUP, INC. LOCKABLE MAILBOX MODEL RSKB (BLACK) 9.5"H X 13"W X 23.5"D UNIVERSAL MOUNTING POST MODEL AR100B (BLACK) 4"TH X 3.5" X 3.5"
- FOR WALL MOUNTED MAILBOX: SOLAR GROUP, INC. MAILSAFE WALL MOUNT MAILBOX MODEL: MSK (BLACK) 12.5"H X 15.25"W X 7.75"D
- REFER TO SHEET A6.1 FOR REMAINING WALL TYPES. REFER TO SHEET A0.1 FOR PARTITION TYPES.
 - ALL DIMENSIONS ARE SHOWN TO FACE OF MASONRY OR FACE OF METAL STUD. UNO.

WALL RATING LEGEND	
2 HOUR RATED WALL	
LEGEND	
PARTIAL MATERIAL	F-FURRING G-GYPSUM M-MASONRY
NOMINAL HEIGHT	F-FULL HEIGHT TO STRUCTURE P-PARTIAL HEIGHT ABOVE CEILING K-KNEEWALL BELOW CEILING C-PARTIAL HEIGHT TO CEILING
PARTITION RATING	A-SOUND ATTENUATION OR BATT INSULATION 1-ONE HOUR FIRE RATED
PARTIAL MATERIAL NOMINAL DEPTH PARTIAL HEIGHT	
G7-F/A-1	
INDICATES RATING: OF HOURS	

- PARTITION NOTES:**
- PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD AT ALL TOILET ROOM WALLS WHERE CERAMIC TILE DOES NOT OCCUR.
 - PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD UP TO 4'-0" A.F.F. ON ALL INSPECTION BAY AND SPRINKLER ROOM WALLS.
 - PROVIDE MOISTURE AND MOLD RESISTANT GYPSUM BOARD BEHIND ALL FRP PANELS.
 - PROVIDE CEMENTITIOUS BACKER BOARD IN LIEU OF GYPSUM BOARD WHERE CERAMIC TILE OCCURS.
 - PROVIDE CONTROL JOINTS IN ALL INTERIOR AND EXTERIOR GYPSUM BOARD WALLS THAT EXCEED 30 FEET IN LENGTH. CONTROL JOINTS SHALL BE SPACED NOT MORE THAN 30 FEET ON CENTER U.N.O. WHERE POSSIBLE. ALIGN CONTROL JOINT WITH DOOR FRAME.
 - INTERIOR METAL STUD FRAMING EXTENDING TO ROOF DECK STRUCTURE AND BRACING FROM ROOF STRUCTURE SHALL NOT BE INSTALLED UNTIL ROOF DEAD LOAD IS IN PLACE.
 - DIAGONAL WALL BRACING IS NOT REQUIRED AT INTERSECTION OF THE SAME HEIGHT WALLS.
 - ALLOW FOR MIN. 1 1/4" DEFLECTION AT ALL FULL HEIGHT WALLS, U.N.O.
 - DO NOT ALIGN WALLBOARD CONTROL JOINTS WITH PARTITION OPENINGS / ROUGH OPENINGS UNLESS NOTED OTHERWISE.

1 FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"

RICHARD L. BOWEN
+ ASSOCIATES INC.
1000 CHANDLER BLVD., SUITE 400, CHANDLER, AZ 85226
PH: 480.948.1100 FAX: 480.948.1101
WWW.RLBOWEN.COM
REGISTERED PROFESSIONAL ARCHITECT - ARIZONA
ARCHITECTS & ENGINEERS - SUBSIDIARY OF
CONSTRUCT



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CMC	CMC
MEW	MEW

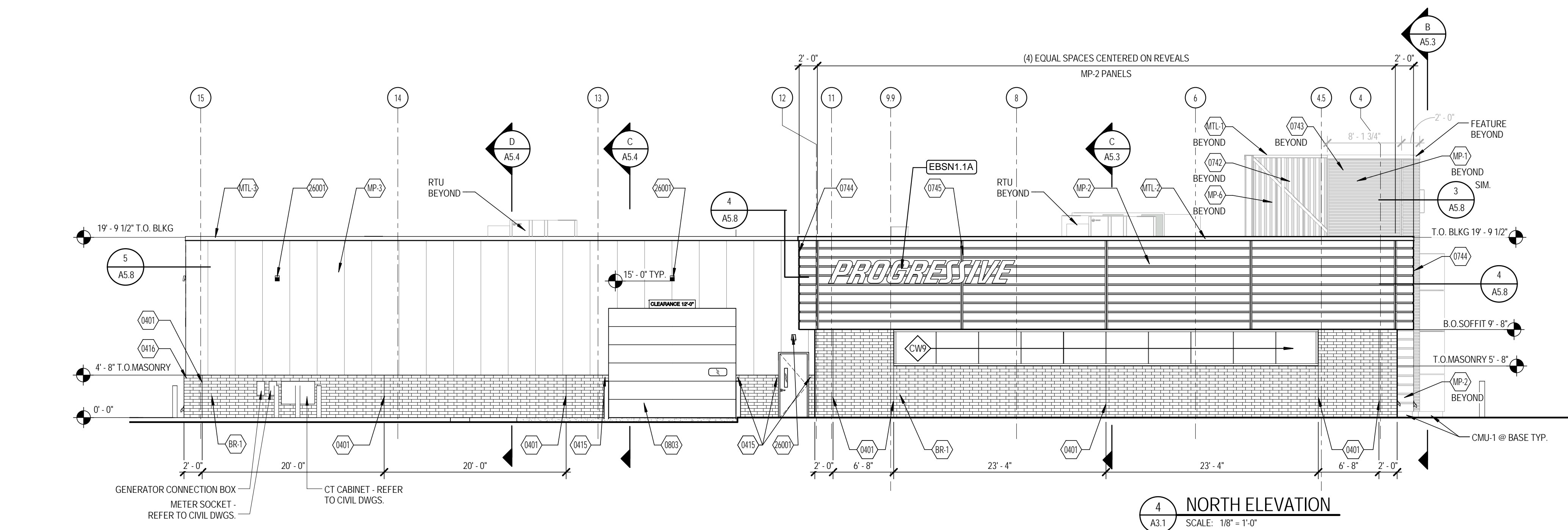
REVISIONS	DESIGNER	CHECKED
DATE	DATE	DATE
10/28/2013	10/28/2013	10/28/2013
PERMIT	ADDITIONAL#2	ADDITIONAL#2

SCALE: AS NOTED
DISCIPLINE: ARCHITECTURAL
SHEET TITLE: FLOOR PLAN

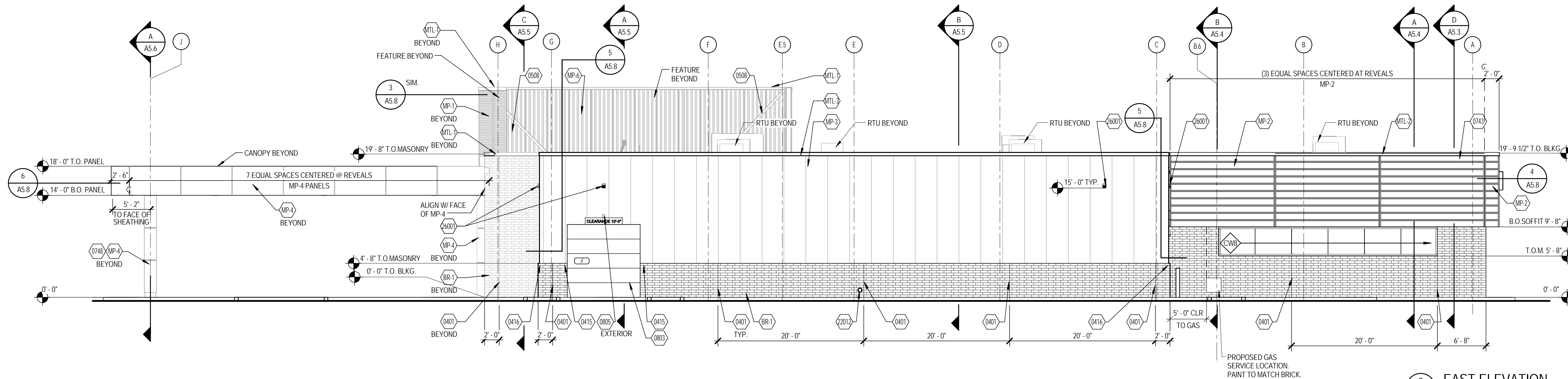
PROGRESSIVE
PROGRESSIVE PROJECT NUMBER: PRED0208A
PROGRESSIVE REGIONAL CLAIMS OFFICE
ALBUQUERQUE 4320 STREET (LOT D)
TUCSON, AZ

RLB NO.: 7697.18
SHEET
A1.1

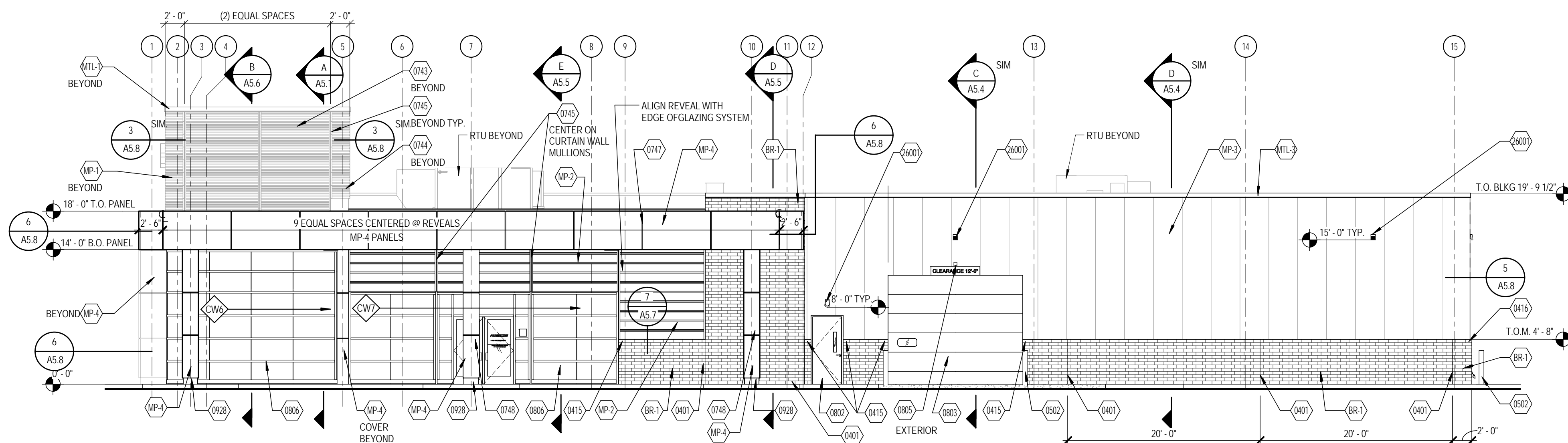
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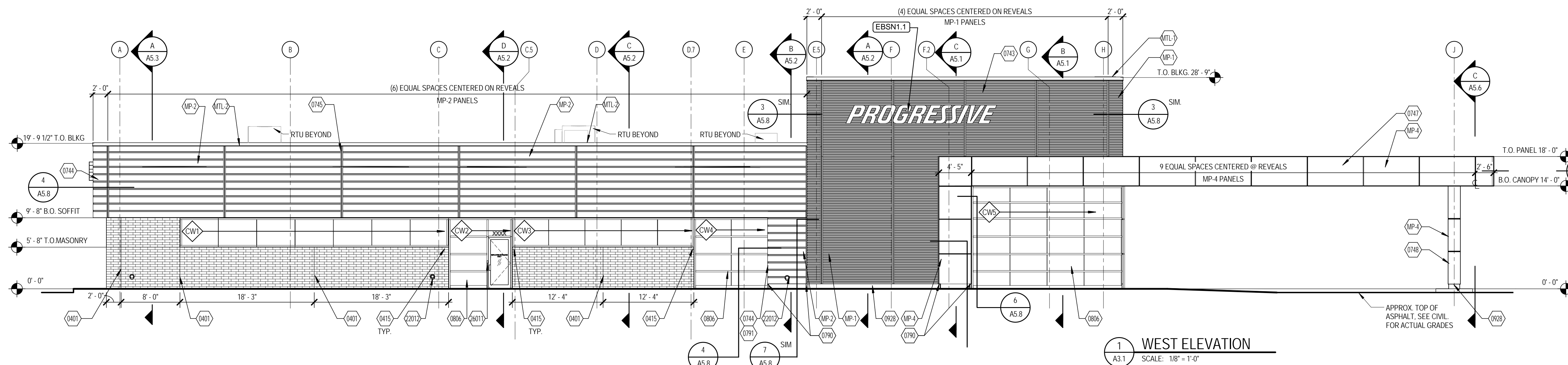
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

KEYNOTE	DESCRIPTION
0401	MASONRY CONTROL JOINT - SEE TYPICAL CONTROL JOINT DETAIL.
0415	PROVIDE PREMANUFACTURED SOLID SILL BRICKS @ END CONDITIONS OF HM DOORS AND CURTAIN WALLS.
0416	PROVIDE PREMANUFACTURED BEVELED CORNER BRICK SILL AT 90° OUTSIDE CORNERS.
0502	6" DIAMETER CONCRETE FILLED STEEL PIPE BOLLARD AT BUILDING EXTERIOR WITH COVER REFER TO EXTERIOR BOLLARD DETAIL.
0608	STEEL FRAMING REFER TO STRUCTURAL DRAWINGS. STEEL FRAMING TO BE PRIME PAINTED LIGHT GRAY. PAINT ALL EXPOSED EXTERIOR STEEL. PAINT EXPOSED ANCHOR BOLTS AND PLATES AS REQUIRED TO MATCH.
0742	PREFINISHED FORMED METAL WALL PANELS. REFER TO EXTERIOR ELEVATIONS FOR PANEL TYPE.
0743	PREFINISHED HORIZONTAL METAL PANEL WALL.
0744	WELDED CORNERS TYPICAL AT HORIZONTAL METAL WALL PANEL CORNERS.
0745	PREFINISHED METAL PANEL WALL SYSTEM MICROLINE EXTRUDED REVEALS. COLOR TO MATCH PANEL.
0747	PREFINISHED METAL COMPOSITE MATERIAL WALL PANELS. SEAL ALL JOINTS EXCEPT LOWEST HORIZONTAL.
0748	PREFINISHED COMPOSITE METAL COLUMN COVERS.
0790	PROVIDE ROUNDED OUTSIDE CORNERS AT ALL BASE FLASHINGS BELOW 9'-8" FOR PANELS MP-1, MP-2, AND MP-4. EASE EDGE OF OUTSIDE CORNERS BY ROUNDED CORNERS. TOUCH UP PAINT AND PROVIDE PROTECTIVE CLEAR OR COLOR MATCHED SILICONE SEALANT AT ANY SHARP EDGES/JUNCTIONS.
0791	WELDED MICROSEAM CORNER EXCEEDS 2'-0" MAX REQUIREMENT FROM MANUFACTURER. OBTAIN APPROVAL FROM MANUFACTURER TO FABRICATE PANELS AS INDICATED IN THIS LOCATION FOR MP-2 PANELS.
0802	HOLLOW METAL DOOR AND FRAME PAINTED.
0803	OVERHEAD SECTIONAL DOOR. FACTORY FINISH WHITE.
0805	MOUNT INFARRED DOOR OPENER ABOVE DOOR PER MANUFACTURER'S RECOMMENDATION FOR PROPER DOOR OPERATION. SEE DETAILS FOR INTERIOR MOUNTING CONDITIONS. SEAL ALL PENETRATIONS.
0806	INSULATED GLASS IN ALUMINUM CURTAIN WALL SYSTEM WITH VERTICAL BUTT GLAZING.
0928	RUBBER CONCRETE FINISH.
22012	OVERFLOW DRAIN DISCHARGE ABOVE GRADE. PROVIDE ESCUTCHEON FLANGE AND SEAL AT EXTERIOR THROUGH WALL CONDITION.
26001	EXTERIOR WALL MOUNTED LIGHT FIXTURE. (PICTURE TO BE CENTERED IN METAL BUILDING WALL OR CEILING PANEL AS APPLICABLE)
26011	SECURITY ACCESS DATA READER - REFER TO MEP DRAWINGS.

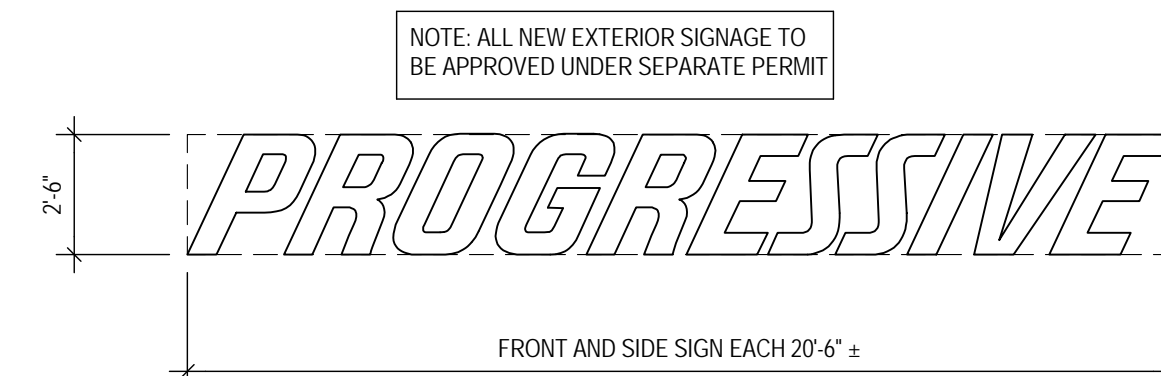
EXTERIOR MATERIAL & FINISH SCHEDULE				
ID#	DESCRIPTION	MANUFACTURER	MODEL/COLOR	CONTACT
BR-1	UTILITY BRICK 4" x 12"	ENDICOTT TILE LLC.	COLOR: DARK IRONSPOT FINISH VELOUR	402.729.3323
C-1	POURED IN PLACE CONCRETE STAIN FINISH	SCOFIELD	REPELLO, NATURAL CONCRETE	
CW-#	ALUMINUM CURTAINWALL SYSTEM	KAWNEER OR APPROVED EQUAL	SYSTEM - 1 CLEAR ANODIZED	
MP-1	PREFINISHED METAL WALL PANEL	CENTRIA	MODEL CS-600 SUNDANCE 9947 GREY VELVET	BEN MARNIK 412.299.8000
MP-2	PREFINISHED METAL WALL PANEL	CENTRIA	MODEL CS-200 9917 LIGHT GREY	BEN MARNIK 412.299.8000
MP-3	PREFINISHED METAL WALL PANEL	CENTRIA	VERSASWALL 993 OFF-WHITE	BEN MARNIK 412.299.8000
MP-4	PREFINISHED METAL WALL PANEL	CENTRIA	FORMABOND II 993 OFF-WHITE	BEN MARNIK 412.299.8000
MP-5	PREFINISHED METAL SOFFIT	CENTRIA	MODEL TW-10A 993 OFF-WHITE	BEN MARNIK 412.299.8000
MP-6	PREFINISHED METAL WALL PANEL	CENTRIA	PROFILE SERIES EXPOSED FASTENERS BR5-36 MATCH SUN DANCE 9947 GREY VELVET	BEN MARNIK 412.299.8000
MP-7	PREFINISHED METAL ROOF PANEL	BERRIDGE MANUFACTURING COMPANY OR APPROVED EQ	STANDING SEAM BLD MATCH 993 OFF-WHITE	
MTL-1	PREFINISHED METAL COPING	CENTRIA	CUSTOM COLOR TO MATCH MP-1	
MTL-2	PREFINISHED METAL COPING	CENTRIA	CUSTOM COLOR TO MATCH MP-2	
MTL-3	PREFINISHED METAL COPING	CENTRIA	CUSTOM COLOR TO MATCH 993 OFF-WHITE	
PT-10	PAINT COLOR	SHERWIN WILLIAMS	SW705 WEB GRAY	
SF-#	ALUMINUM STOREFRONT SYSTEM	KAWNEER OR APPROVED EQUAL	VG451 CLEAR ANODIZED	

EXTERIOR SEALANT COLOR / LOCATION SCHEDULE	
SEALANT COLOR	LOCATION
SUPER WHITE	MP-3, MP-4, MP-5, MP-7, MTL-3
ANODIZED ALUMINUM	CW-1, SF-1, MP-2, MTL-2
MEDIUM GRAY	MP-1, MP-6, MTL-1
DESERT TAUPE	BR-1

NOTE: COLOR SELECTIONS ARE BASED ON TREMCO SILICONE SEALANT 415 STANDARD COLORS

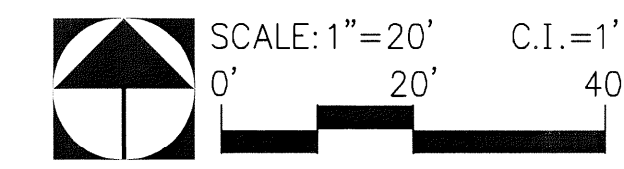
GENERAL NOTES

1. NOTE HVAC UNITS ARE CENTRALLY PLACED SO THAT UNITS ARE NOT VISIBLE FROM STREET. RELATIVE TO BUILDING FINISH FLOOR. SITE UNIT STUDIES ARE AVAILABLE UPON REQUEST WHERE REQUIRED.




- NOTE:
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITTING ALL SIGNS.
 - SIGNAGE PROVIDED BY SIGNAGE VENDOR UNDER SUBCONTRACT TO GENERAL CONTRACTOR.
 - BOTH BUILDING SIGNS - 5" DEEP CHANNEL LETTERS, INDIVIDUALLY LIT WITH WHITE LED LIGHTS, POWER SUPPLIES. CONTRACTOR SHALL PROVIDE POWER TO SIGN.
 - SEE SHEET A1.7 CONTAINS MORE SIGN INFORMATION AND COLORS.

5 BUILDING SIGN
SCALE: 1/4" = 1'-0"



1 CHANNEL CROSS SECTION

- NOTES:**
1. MAXIMUM SIDEWALK CROSS SLOPE IS 2%. MAXIMUM LONGITUDINAL SLOPE IS 5% WITHOUT HANDRAIL. LONGITUDINAL SLOPE GREATER THAN 5% REQUIRES HANDRAIL. (EXCEPT CURB RAMPS) MAXIMUM SLOPE AT LANDINGS AND ACCESSIBLE PARKING IS 2% IN ALL DIRECTIONS. ALL ACCESSIBLE ROUTE SLOPES ARE TO COMPLY WITH 2009 ICC A117.1, SECTION 403.3.
 2. ALL SLOPE STABILIZATION TO BE ACCORDANCE WITH DETAIL 17 ON SHEET 7.
 3. SEE SHEET 5 FOR CONCENTRATION POINT INFORMATION



**CITY OF
TUCSON**

**DEVELOPMENT PACKAGE
PDSD APPROVAL**

☐ Site/Dev Plan

☐ Tentative Plat

☐ Grading

☐ SWPPP

☐ FUP

☐ SCZ

☐ FRZ

☐ HDZ

☐ WASH

☐ Other

DVPKG MGR _____ **Date** _____

Zoning _____ **Date** _____

Engineering _____ **Date** _____

H/C Site _____ **Date** _____

Fire _____ **Date** _____

Landscape _____ **Date** _____

PL/ME _____ **Date** _____

Revision # _____ ☐ per letter in SIR

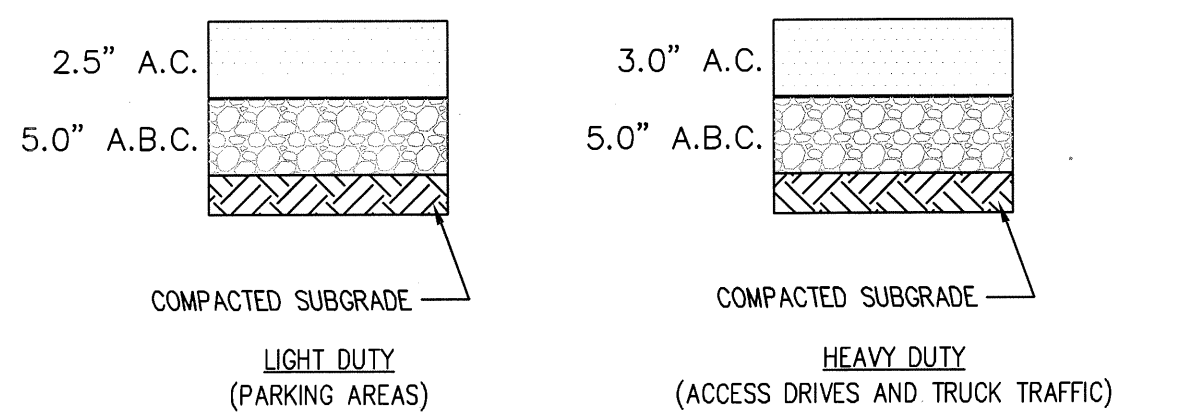
DP13-0163
DEVELOPMENT PACKAGE FOR
PROGRESSIVE INSURANCE
SEC ALVERNON & 22nd ST.
BEING A PORTION OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 14 EAST
GILA & SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY, ARIZONA




N:\113016\Development Package\SH-05-GRADING.dwg Plotter: Sep 26, 2013 - 3:52pm **PROGRESSIVE INSURANCE ALVERNON & 22nd DEVELOPMENT PACKAGE**

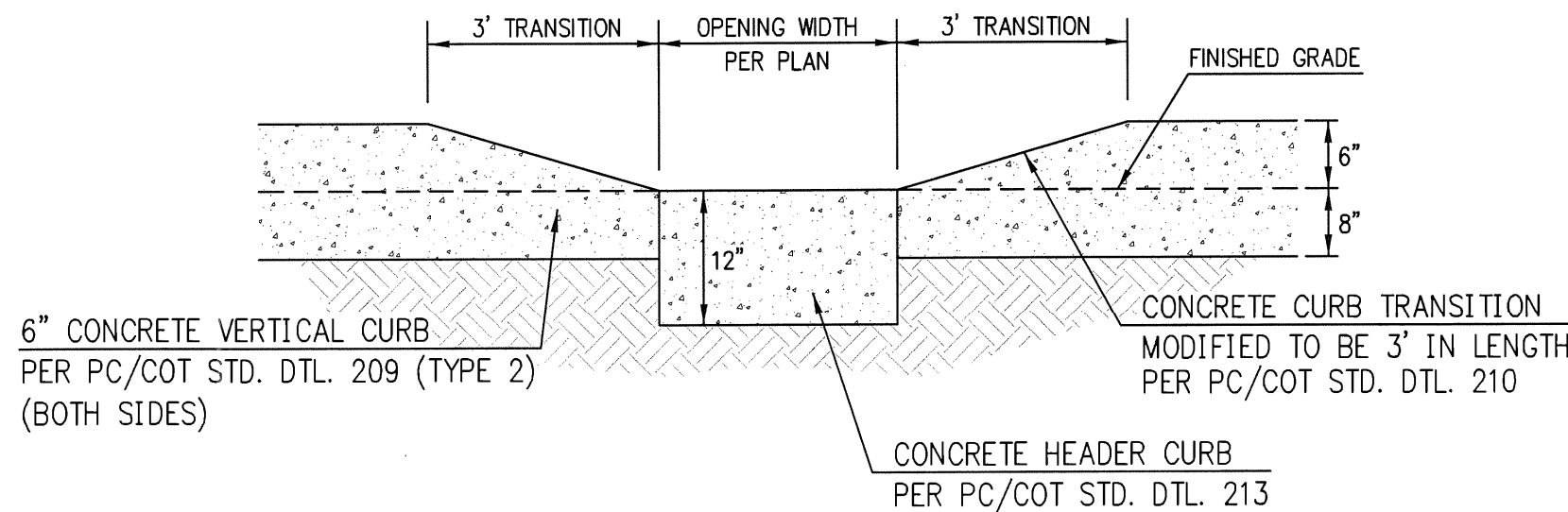
GENERAL NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PC/COT SSP1), 2003 EDITION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS OWN EARTHWORK QUANTITIES AND SUBMIT HIS BID BASED THEREON.
- CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION. CALL BLUE STAKE (1-800-782-5348) TWO (2) FULL WORKING DAYS PRIOR TO EXCAVATION. SATURDAYS AND SUNDAYS ARE NOT CONSIDERED TO BE WORKING DAYS.
- CONTRACTOR SHALL GIVE FORTY-EIGHT (48) HOURS NOTICE WHEN HE SHALL REQUIRE THE SERVICES OF THE ENGINEER OR ANY OTHER PERSON PROPERLY AUTHORIZED FOR SUCH PURPOSE FOR LAYING OUT ANY PORTION OF THE WORK. HE SHALL ALSO DIG ALL STAKE HOLES NECESSARY TO GIVE LINE AND LEVELS.
- THE CONTRACTOR SHALL PRESERVE ALL STAKES SET FOR THE LINES, LEVELS OR MEASUREMENTS OF THE WORK IN THEIR PROPER PLACES UNTIL AUTHORIZED TO REMOVE THEM BY ENGINEERS. ANY EXPENSE INCURRED IN REPLACING ANY STAKES WHICH THE CONTRACTOR OR HIS SUBORDINATES MAY HAVE FAILED TO PRESERVE SHALL BE CHARGED TO THE CONTRACTOR.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH, HAUL, AND APPLY ALL WATER REQUIRED FOR COMPACTION AND FOR THE CONTROL OF DUST FROM CONSTRUCTION ACTIVITY. THE COST THEREOF IS TO BE INCLUDED IN THE GRADING CONSTRUCTION PRICE.
- ALL ORGANIC MATERIAL SHALL BE REMOVED WITHIN CLEARING LIMITS FOR NECESSARY GRADING TO A DEPTH OF SIX (6) INCHES AND LAWFULLY DISPOSED OF PRIOR TO GRADING.
- THE OWNER SHALL BE RESPONSIBLE FOR THE OPERATION, MAINTENANCE, AND LIABILITY FOR ON-SITE DRAINAGE IMPROVEMENTS. THE OWNER SHALL MAINTAIN FOR REVIEW UPON THE WRITTEN REQUEST BY CITY STAFF, A RECORD OF ANNUAL CERTIFIED INSPECTION REPORTS FOR THE DRAINAGE FACILITIES. THE CITY STAFF MAY PERIODICALLY INSPECT THE DRAINAGE FACILITIES TO VERIFY THAT MAINTENANCE ACTIVITIES ARE BEING PERFORMED ADEQUATELY. THE OWNER OR OWNERS AGREE TO REIMBURSE THE CITY FOR ANY AND ALL COSTS ASSOCIATED WITH THE MAINTAINING OF THE DRAINAGE STRUCTURES AND DETENTION/RETENTION SYSTEM, SHOULD THE CITY FIND THE OWNER OR OWNERS DEFICIENT IN THEIR OBLIGATION TO ADEQUATELY OPERATE AND MAINTAIN THEIR FACILITIES.
- THE SOILS ENGINEER SHALL OBSERVE, INSPECT AND TEST ALL EARTHWORK OPERATIONS, INCLUDING BUT NOT LIMITED TO: CLEARING, GRUBBING, SUBGRADE PREPARATION, STRUCTURAL AND TRENCH EXCAVATION AND BACKFILL, TOGETHER WITH PLACEMENT AND COMPACTION OF FILL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE, MAINTENANCE, REPAIR OR REPLACEMENT OF EXISTING IMPROVEMENTS IN THE WORK AREA WHICH HAVE BEEN REMOVED OR DAMAGED DURING THE COURSE OF CONSTRUCTION. ALL REPAIR, REPLACEMENT, OR CLEANUP SHALL BE DONE TO THE SATISFACTION OF THE OWNER.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- EXISTING UTILITIES ARE SHOWN BASED UPON THE BEST INFORMATION AVAILABLE. CONTRACTOR TO VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- ALL CONSTRUCTION AND TEST METHODS SHALL BE IN CONFORMANCE WITH PIMA COUNTY/CITY OF TUCSON STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS (PC/COT SSP1), 2003 EDITION.
- AGGREGATE BASE COURSE SHALL CONFORM TO PC/COT SSP1 SECTION 303.
- ASPHALTIC CONCRETE SHALL CONFORM TO PC/COT SSP1 SECTION 406, MIX #2 SPECIFICATIONS.
- ALL CONCRETE SHALL COMPLY WITH PC/COT SSP1 SECTION 1006, CLASS S, 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE OCCUPATION SAFETY AND HEALTH ADMINISTRATION REGULATIONS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED BY GOVERNMENTAL AGENCIES.
- ALL REVISIONS TO THESE PLANS MUST BE APPROVED BY CITY OF TUCSON DEVELOPMENT SERVICES PRIOR TO CONSTRUCTION.
- ELEVATIONS SHOWN ARE FINISH PAVEMENT GRADES UNLESS OTHERWISE NOTED.
- THE "LATEST REVISION" ACCEPTED COPY OF THIS PLAN SHALL BE KEPT IN AN EASILY ACCESSIBLE LOCATION ON THE SITE AT ALL TIMES DURING CONSTRUCTION.
- IF UNANTICIPATED CONDITIONS ARE ENCOUNTERED DURING THE COURSE OF THE CONSTRUCTION AND ARE BEYOND THE SCOPE OF THE DESIGN, THE ENGINEER SHALL SUBMIT THE NECESSARY REVISED OR SUPPLEMENTAL IMPROVEMENT PLANS FOR REVIEW AND APPROVAL CITY OF TUCSON DEVELOPMENT SERVICES.
- UPON COMMENCEMENT OF WORK, TRAFFIC CONTROL DEVICES SHALL BE POSTED AND MAINTAINED BY THE CONTRACTOR UNTIL SUCH TIME AS THE WORK IS COMPLETED. ALL WARNING SIGNS, BARRICADES, ETC. SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES ADOPTED BY THE STATE OF ARIZONA PURSUANT TO A.R.S. 28-650.
- DEVELOPER COVENANTS TO HOLD CITY OF TUCSON, ITS SUCCESSORS AND ASSIGNS, HARMLESS IN THE EVENT OF FLOODING.
- THE CONTRACTOR SHALL ADHERE TO THE CONDITIONS OF THE STATE ANTIQUITIES ACT AND NOTIFY ARIZONA MUSEUM AND THE PIMA COUNTY ARCHAEOLOGIST IN THE EVENT HUMAN REMAINS OR FUNERARY OBJECTS ARE ENCOUNTERED.
- A REGISTERED ENGINEER MUST CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED PLANS PRIOR TO REQUEST OF FINAL INSPECTION/CERTIFICATION OF OCCUPANCY OR RELEASE OF ASSURANCES, OR MODULAR PERMITS.
- ALL WORK SHALL CONFORM TO CITY OF TUCSON DEVELOPMENT STANDARD 11-01.0 (EXCAVATION AND GRADING REQUIREMENTS).
- A RIGHT-OF-WAY USE PERMIT IS REQUIRED FOR CONSTRUCTION IN PUBLIC RIGHTS-OF-WAY AND DRAINAGEWAYS.
- ALL EXISTING VALVES, MANHOLES, AND CLEANOUT RIMS SHALL BE ADJUSTED TO NEW FINISHED GRADE PER PC/COT SPECIFICATIONS.
- ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF A GEOTECHNICAL INVESTIGATION PREPARED BY CONESTOGA-ROVERS AND ASSOCIATES DATED 5-29-13 (REF. 078383) EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OBTAINED IN SAID REPORT.
- THE APPROVED DEVELOPMENT PACKAGE PLAN IS THE ONLY ACCEPTABLE CONSTRUCTION PLAN ON SITE. THE CONTRACTOR MAY NOT USE ANY OTHER PLANS, FOR CONSTRUCTION PURPOSES.
- THE CONTRACTOR SHALL REMOVE THE FINE MATERIALS FROM THE BOTTOM OF THE WATER HARVESTING BASINS 32, AND SCARIFY THE BASIN BOTTOM ONCE THE CONSTRUCTION ACTIVITIES ARE COMPLETED IN ORDER TO REMOVE ANY FINE MATERIAL BUILD UP CAUSED BY CONSTRUCTION AND TO RESTORE SOIL PERCOLATION. INSTALL BMP'S AT THE BASIN INLET(S) TO PREVENT THE FINES FROM ENTERING THE BASIN.
- ANY PROPOSED ENGINEERING WORK TO BE DONE BELOW GRADE (I.E. TOE-DOWNS, CUTOFF WALLS, DRAINAGE PIPES/STRUCTURES, ETC.) SHALL NOT BE BACK FILLED UNTIL DEVELOPMENT SERVICES INSPECTOR INSPECTS THE WORK AND APPROVES IT.
- THE CONTRACTOR IS NOT PERMITTED TO MAKE AN AUTONOMOUS DECISION TO CARRY OUT CONSTRUCTION FIELD CHANGES WITHOUT PRIOR WRITTEN APPROVAL FROM THE ENGINEER OF RECORD AND THE CITY OF TUCSON PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
- A COPY OF THE APPROVED DEVELOPMENT PACKAGE PLAN, GRADING PERMIT, AND ANY GEOTECHNICAL REPORTS SHALL BE KEPT AT THE SITE AT ALL TIMES, UNTIL FINAL GRADING APPROVAL.
- ANY PROPOSED FIELD REVISION TO THE DEVELOPMENT PACKAGE PLAN MAY REQUIRE A RE-SUBMITTAL OF A REVISED DEVELOPMENT PACKAGE PLAN FOR REVIEW. CONTACT PSDS ENGINEERING AT 791-550 TO DISCUSS CHANGES IN GRADING DESIGN.
- IF GRADING CONSTRUCTION IS EXPECTED TO LAST LONGER THAN THE EXPIRATION DATE OF THE GRADING PERMIT, CONTACT PSDS TO RENEW/EXTEND THE GRADING PERMIT. IF FINAL GRADING INSPECTION HAS NOT BEEN COMPLETED BEFORE THE GRADING PERMIT EXPIRES, AND THE PERMIT HAS NOT BEEN RENEWED, ADDITIONAL FEES AND REVIEWS MAY BE REQUIRED.
- CONTACT PERMITS AND CODES AT 791-5100 FOR ANY QUESTIONS REGARDING ANY RIGHT-OF-WAY PERMIT REQUIREMENTS.
- AS-BUILTS AND LETTERS OF COMPLETION FOR OVERALL PROJECT ARE REQUIRED. THE ENGINEER OF RECORD SHALL SUBMIT A STATEMENT OF CONFORMANCE TO AS-BUILT PLAN AND THE SPECIFICATIONS.
- THE PERMITEE SHALL NOTIFY THE PSDS WHEN THE GRADING OPERATION IS READY FOR FINAL GRADING INSPECTION.
- FINAL GRADING APPROVAL SHALL NOT BE GIVEN UNTIL ALL WORK, INCLUDING INSTALLATION OF ALL DRAINAGE FACILITIES AND THEIR PERMANENT PROTECTIVE DEVICES, AND ALL EROSION CONTROL MEASURES HAVE BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND GRADING PERMIT, AND ANY REQUIRED REPORTS HAVE BEEN SUBMITTED.
- DEPRESS ALL LANDSCAPE AREAS A MAXIMUM OF 6" FOR WATER HARVESTING.



STRUCTURAL PAVEMENT SECTIONS

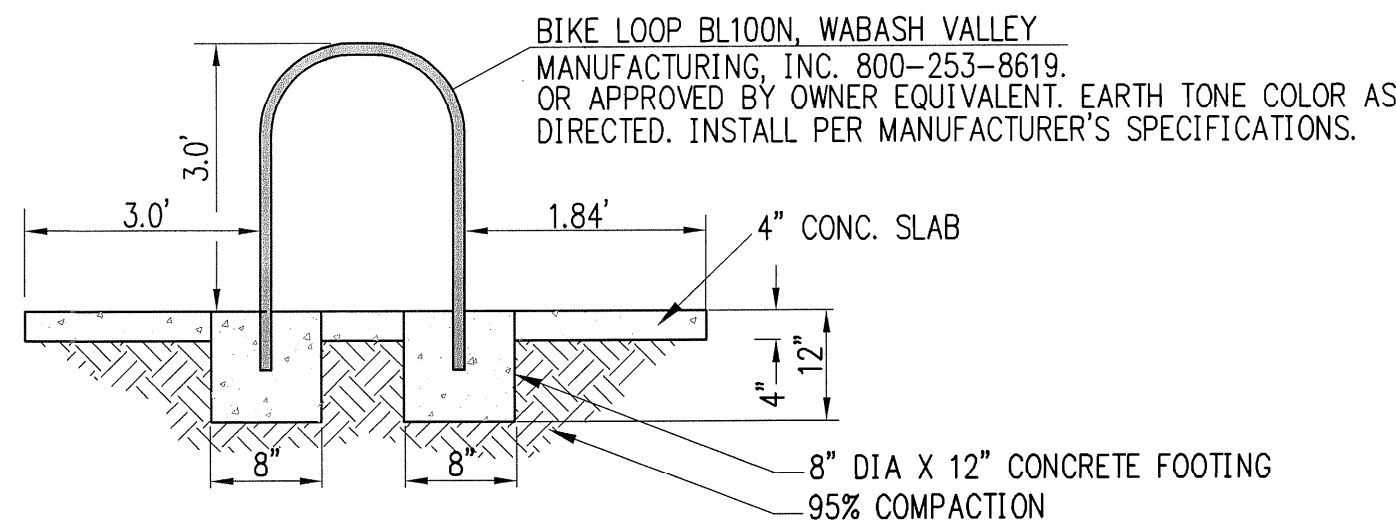
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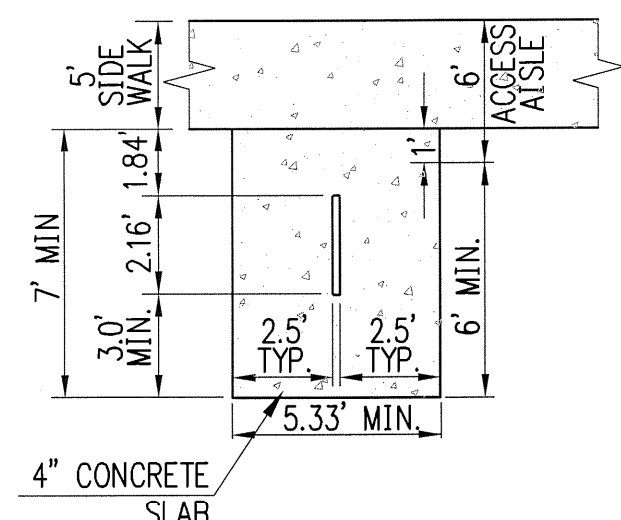
CURB OPENING DETAIL

NTS

CLASS II PARKING



PROFILE



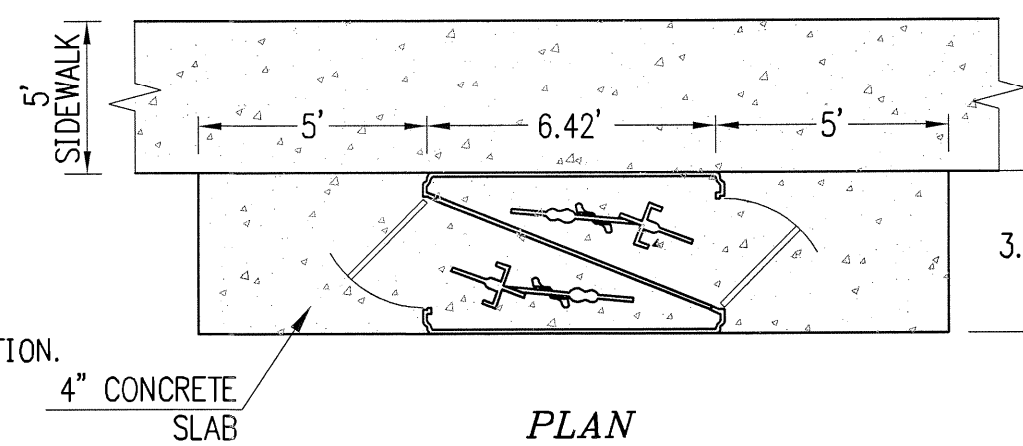
PLAN VIEW

SHORT TERM BICYCLE PARKING

NTS

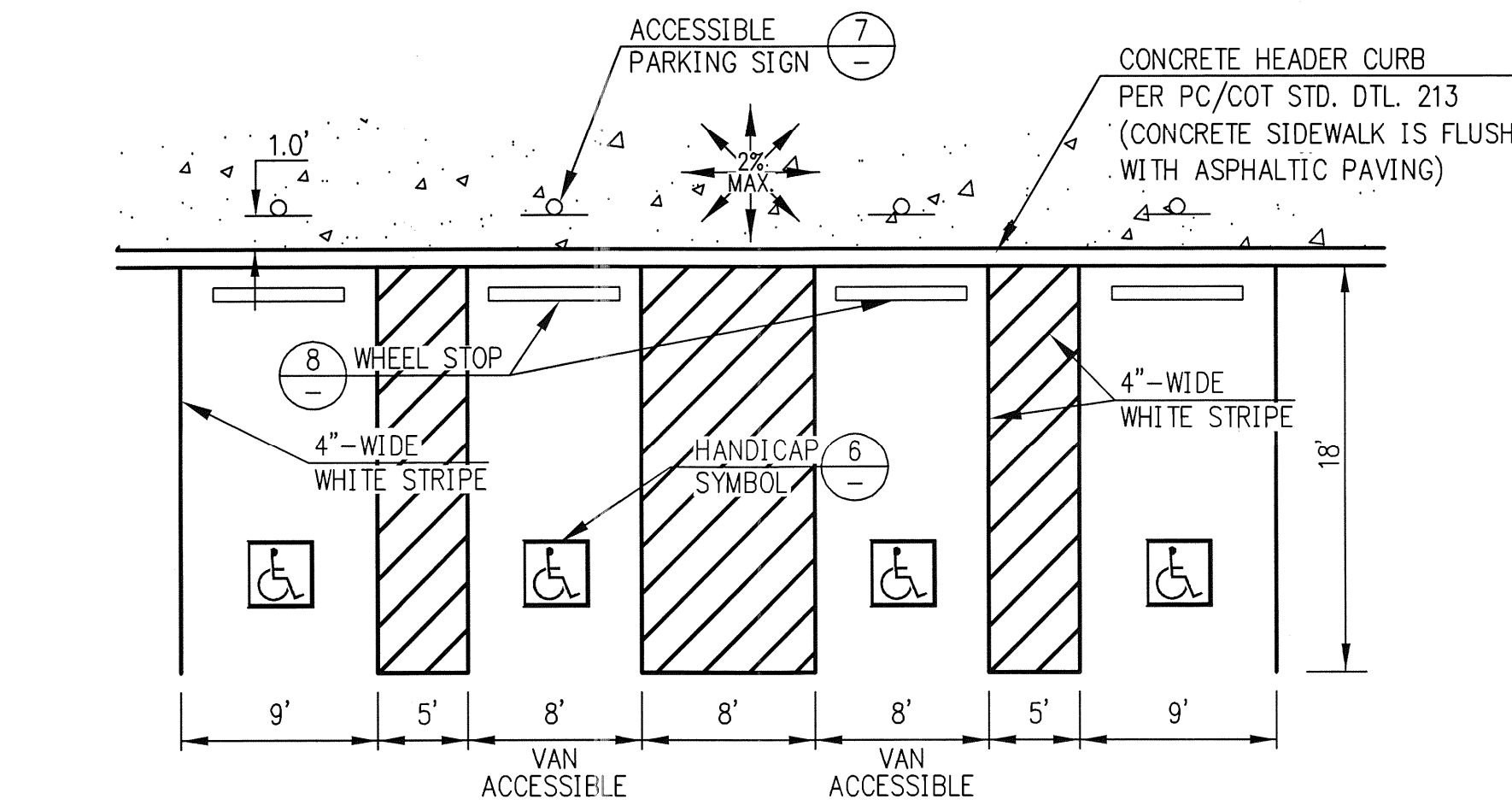
NOTES:

- THE COVERED, SECURED BICYCLE PARKING FACILITY PROTECTS AGAINST DIRECT SUNLIGHT AND THEFT OF THE ENTIRE BICYCLE AND OF ITS COMPONENTS AND ACCESSORIES BY THE USE OF:
1. BICYCLE LOCKERS
 2. CHECK-IN FACILITIES
 3. MONITORED PARKING
 4. RESTRICTED ACCESS PARKING
 5. OTHER SECURED PARKING AS APPROVED BY THE TOWN OF ORO VALLEY.



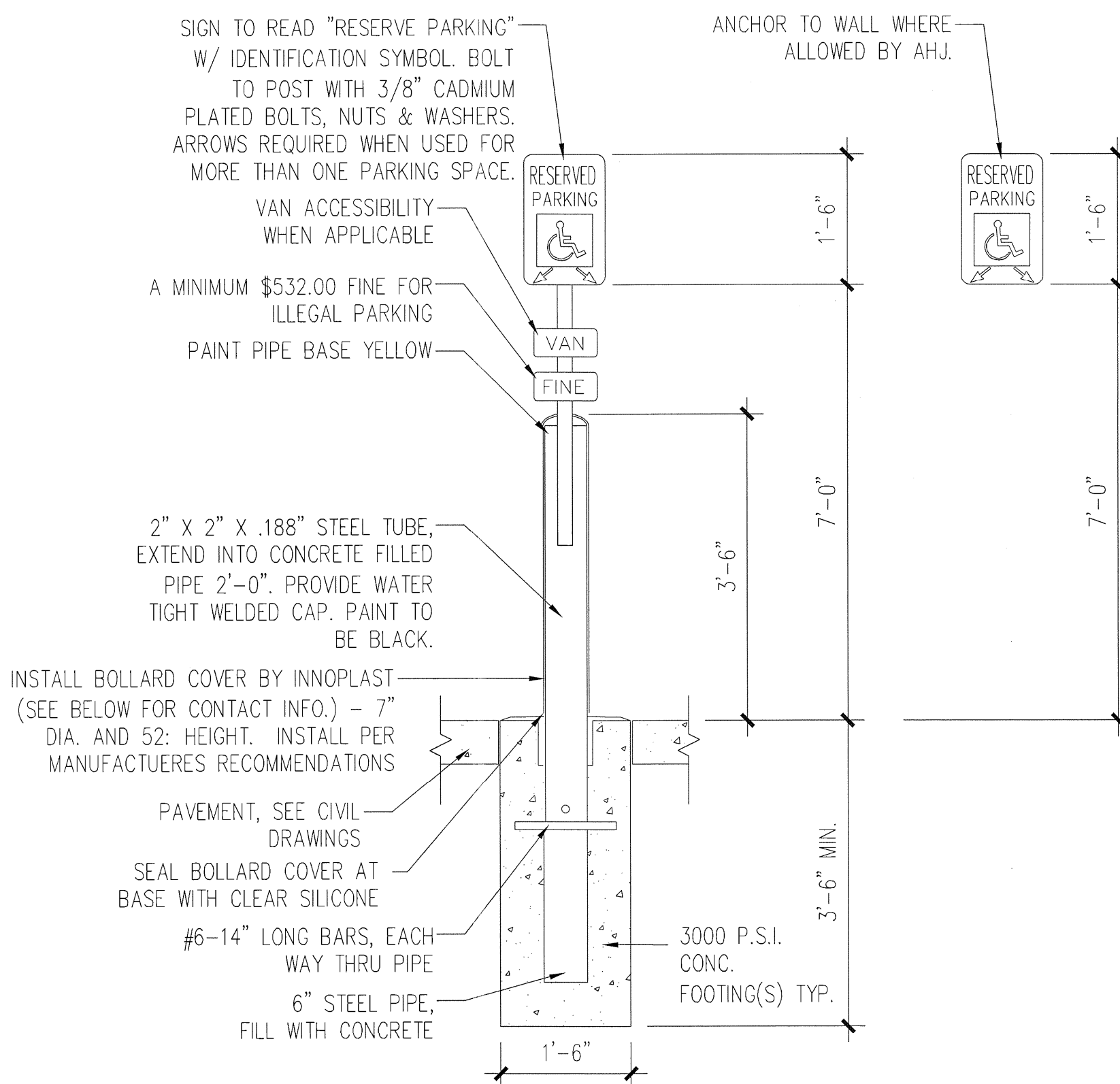
LONG TERM BICYCLE PARKING

SECURED BIKE PARKING TO BE WITHIN BUILDING



ADA PARKING LAYOUT

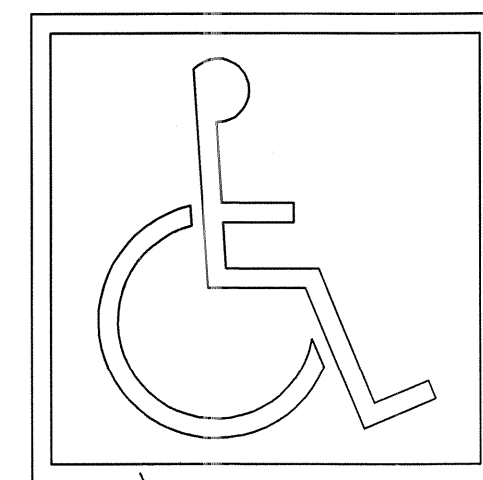
NTS



NOTE: HANDICAPPED PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS

ACCESSIBLE PARKING SIGN

NTS



3'-0"x3'-0" PAINTED SYMBOL-2-COATS BLUE FIELD AND WHITE BORDER AND SYMBOL

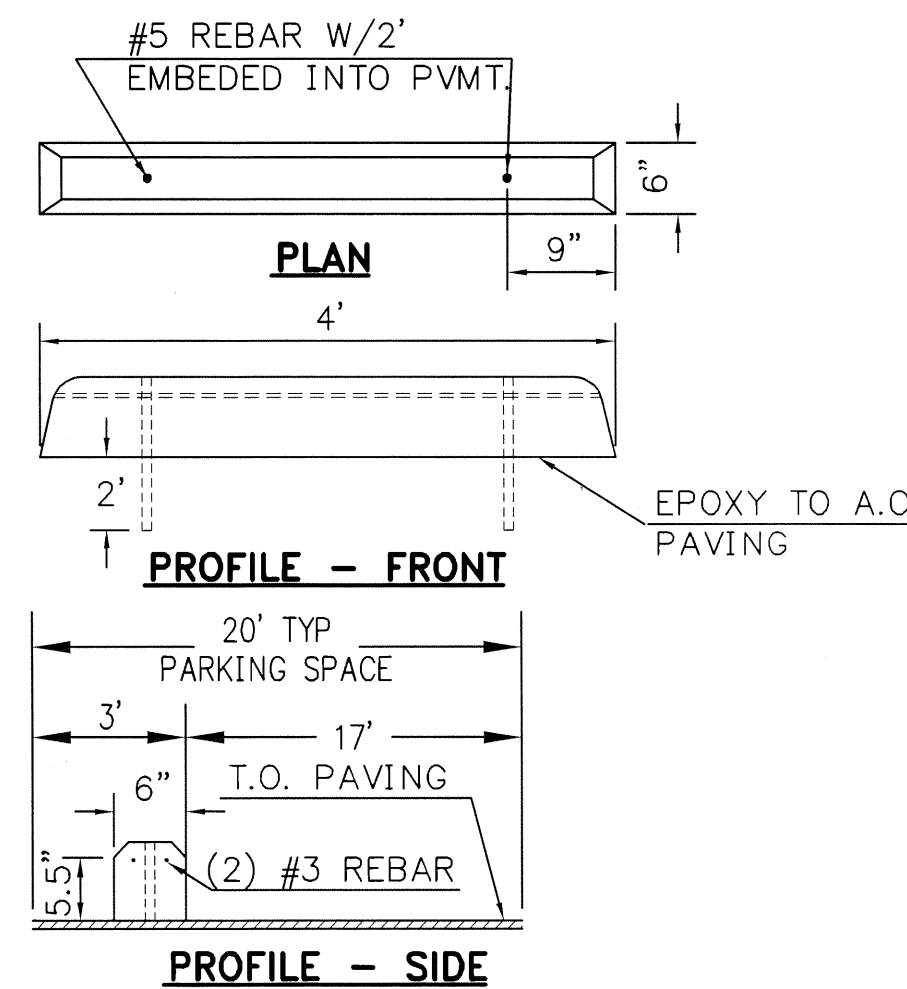
SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL

IN ADDITION TO PAINTED PARKING SYMBOL, PROVIDE A 70 SQ.IN. SIGN SHOWING H/C SYMBOL ONLY AT EACH HANDICAPPED PARKING STALL PER TITLE 24 AND A.D.A.

HANDICAP SYMBOL

NTS

1305 S ALVERNON WAY, TUCSON, AZ. 85711



CONCRETE WHEEL STOP

NTS

TABLE OF 10- &100-YEAR PRE DEVELOPED PEAK DISCHARGE				
CONC. PT	DRAINAGE AREA (ac)	Q10 (cfs)	Q100 (cfs)	
1.0	3.7	10.2	20.4	
1.1	0.28	1.1	2.3	
1.2	0.06	0.3	0.5	
1.3	0.04	0.1	0.2	
1.4	0.16	0.7	1.3	
1.5	0.21	0.8	1.7	
1.6	0.01	0.0	0.1	
1.7	0.21	0.9	1.7	
2.0	0.47	1.9	3.8	
2.1	0.18	0.7	1.4	
3.0	0.11	0.5	0.9	
4.0	0.02	0.1	0.2	
5.0	0.04	0.1	0.3	
6.0	0.04	0.2	0.3	
7.0	0.06	0.3	0.5	
R1	0.14	0.6	1.2	
R2	0.04	0.2	0.3	
R3	0.07	0.3	0.6	
R4	0.10	0.2	0.3	
C1	0.08	0.3	0.7	
OS1	2.5	4.9	13.4	

CITY OF TUCSON

DEVELOPMENT PACKAGE PSDS APPROVAL

☐ Site/Dev Plan ☐ SECZ
☐ Tentative Plat ☐ FRZ
☐ Grading ☐ HDZ
☐ SWPPP ☐ WASH
☐ FUP ☐ Other

DVPMG MGR _____ Date _____
Zoning _____ Date _____
Engineering _____ Date _____
H/C Site _____ Date _____
Fire _____ Date _____
Landscape _____ Date _____
PLMSE _____ Date _____
Revision # _____ ☐ per letter in SIRE

DP13-0163
DEVELOPMENT PACKAGE FOR
PROGRESSIVE INSURANCE
SEC ALVERNON & 22nd ST.
BEING A PORTION OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 14 EAST
GILA & SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY, ARIZONA

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Tucson, Arizona (520) 881-7480

PROGRESSIVE INSURANCE
SEC ALVERNON WAY AND 22ND STREET
TUCSON, ARIZONA
Project

DEVELOPMENT PACKAGE
NOTES AND DETAILS

Sheet Title

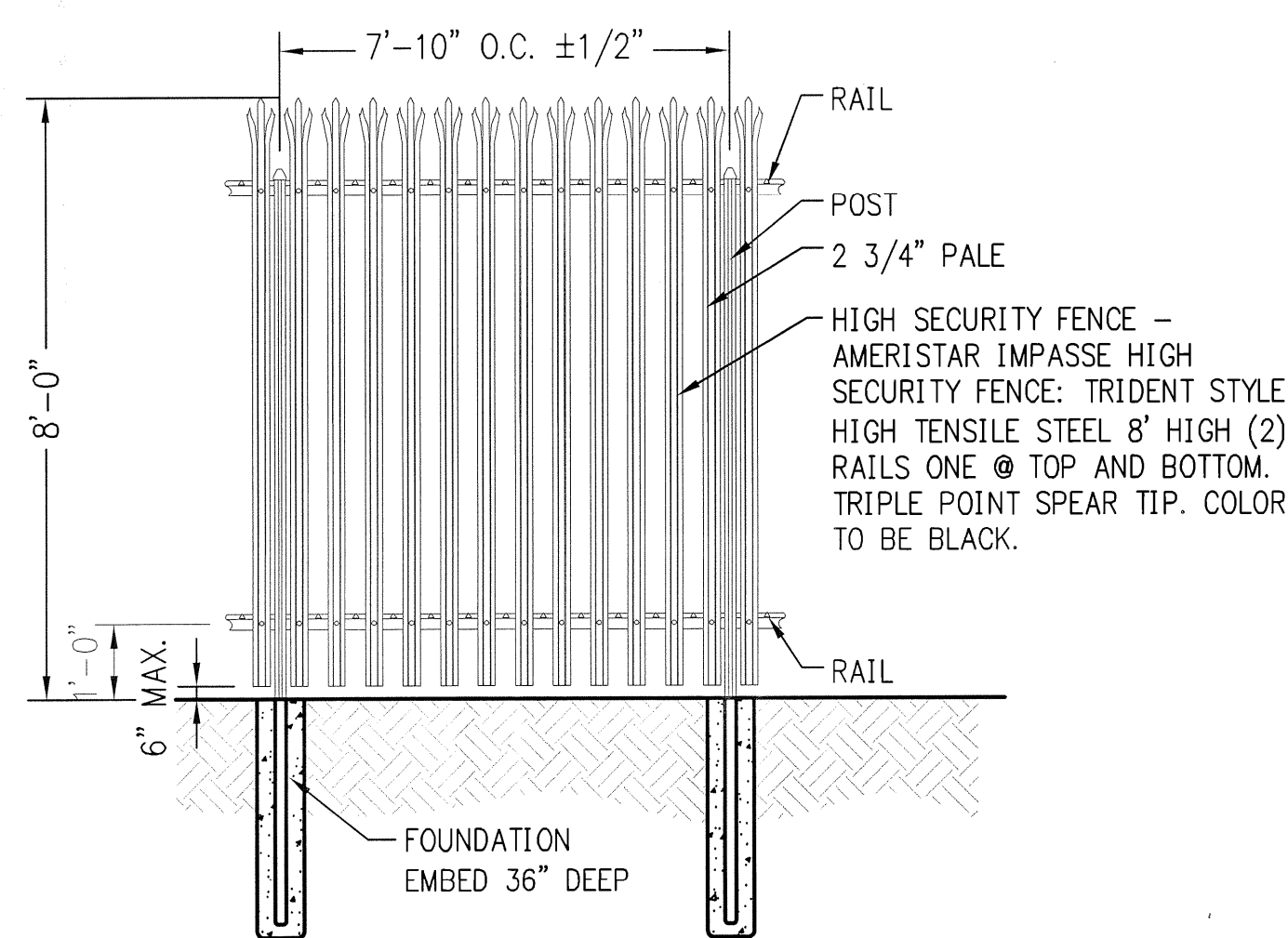
No.	Date	Item

Scale	AS SHOWN
Job No.	113016-A001-0500
Date	SEPTEMBER 2013
Designed By	WLB
Checked By	DWL

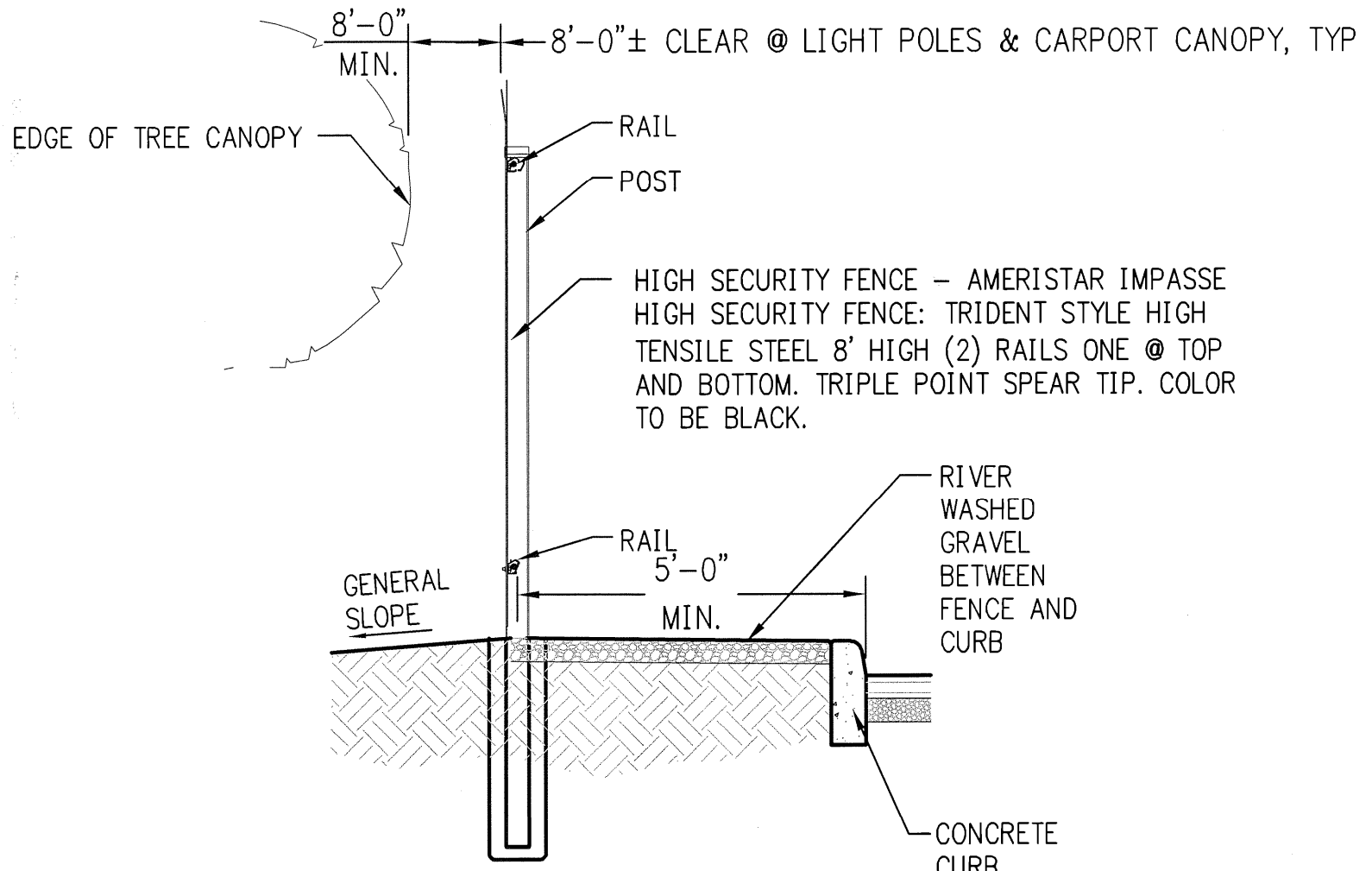


Sheet 5
of 23

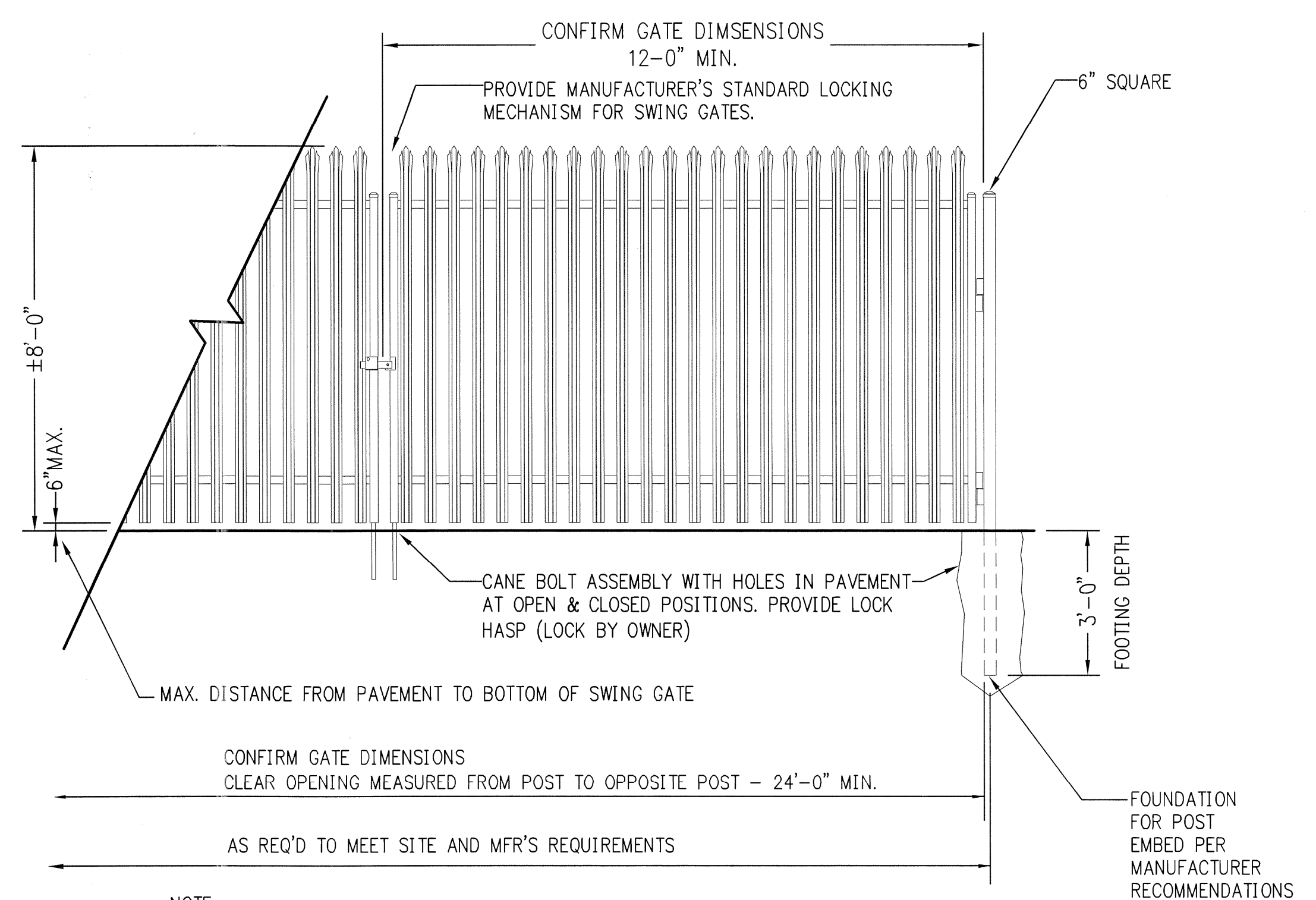
EXPIRES 6/30/2016



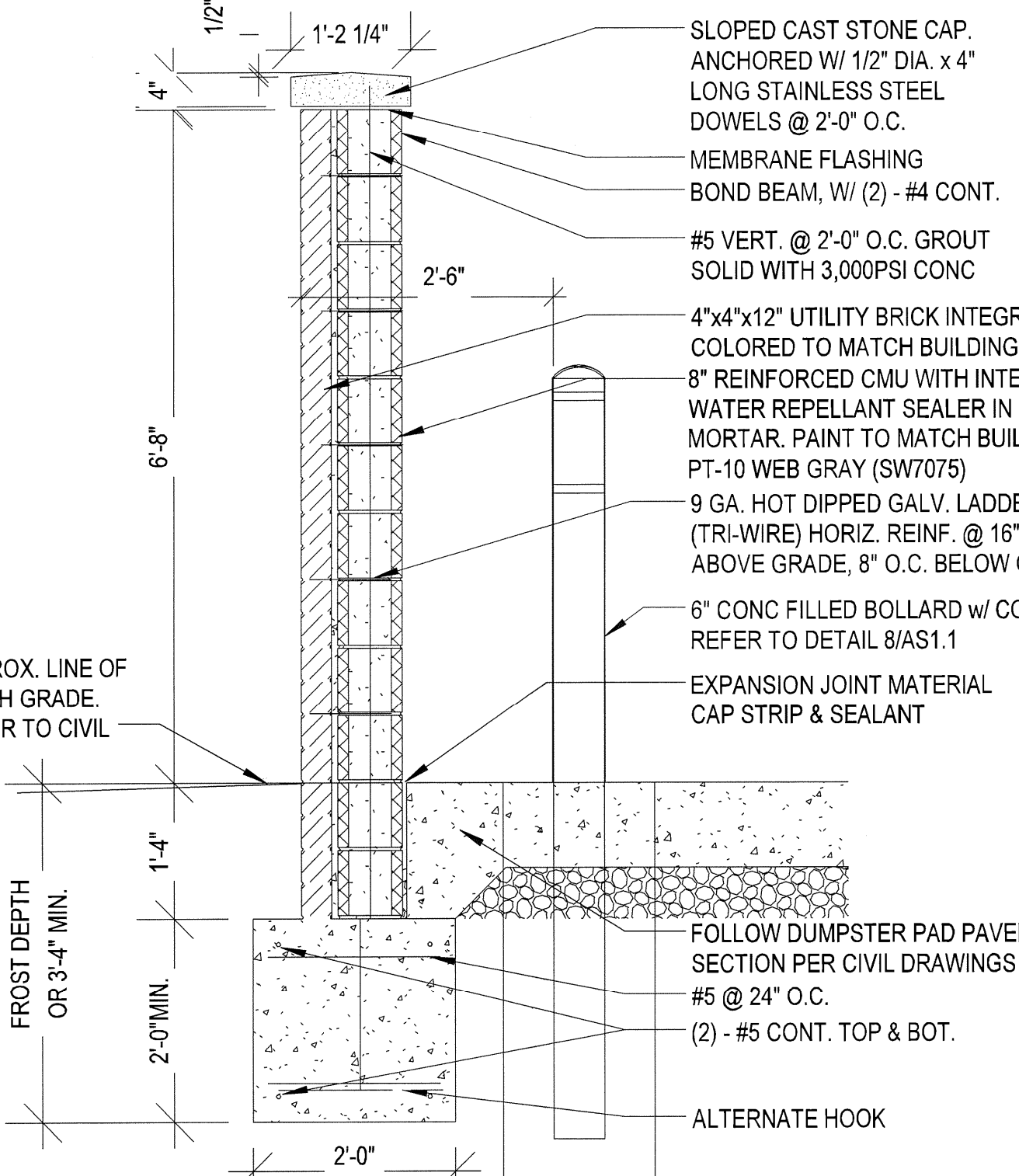
9 SECURITY FENCE ELEVATION NTS



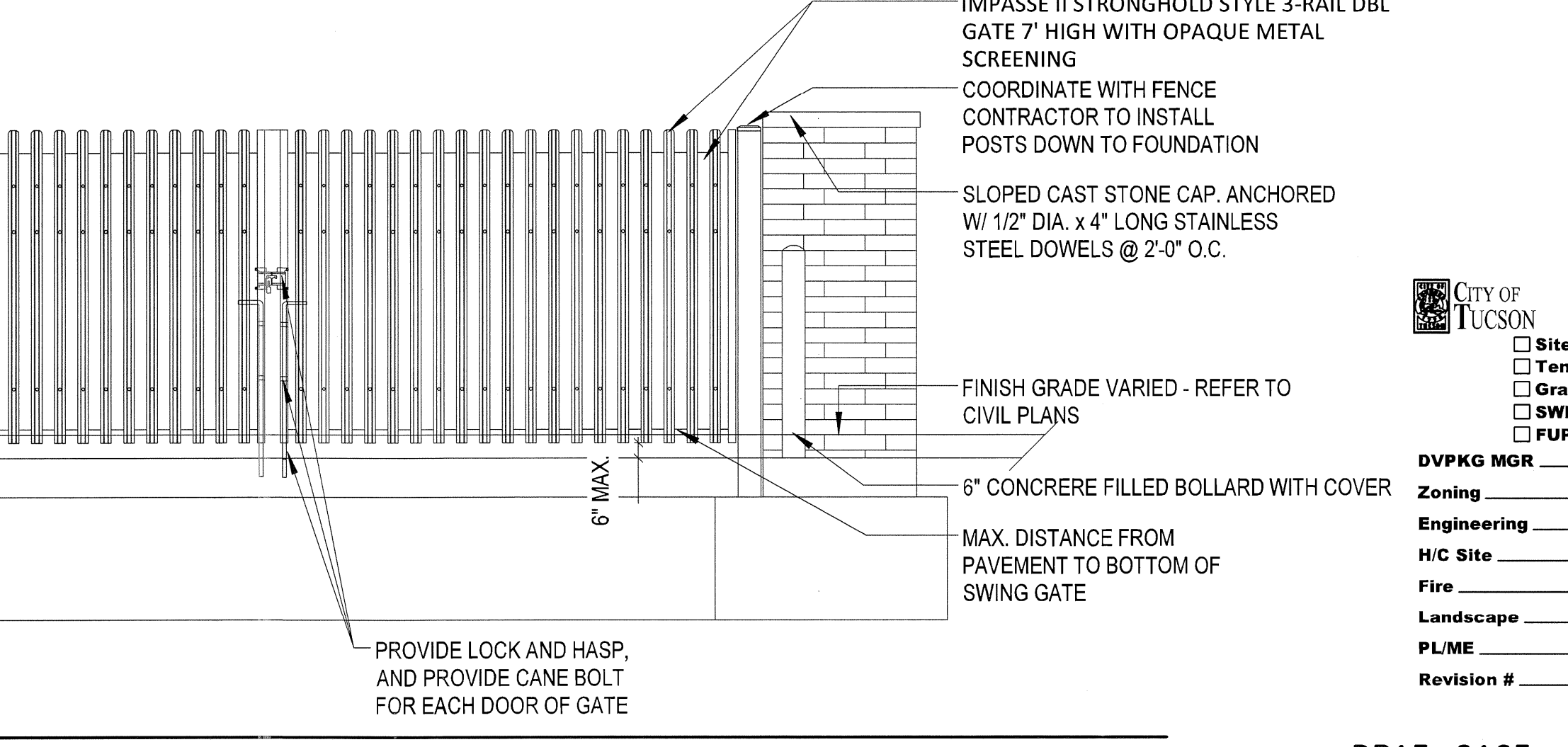
10 SECURITY FENCE SECTION NTS



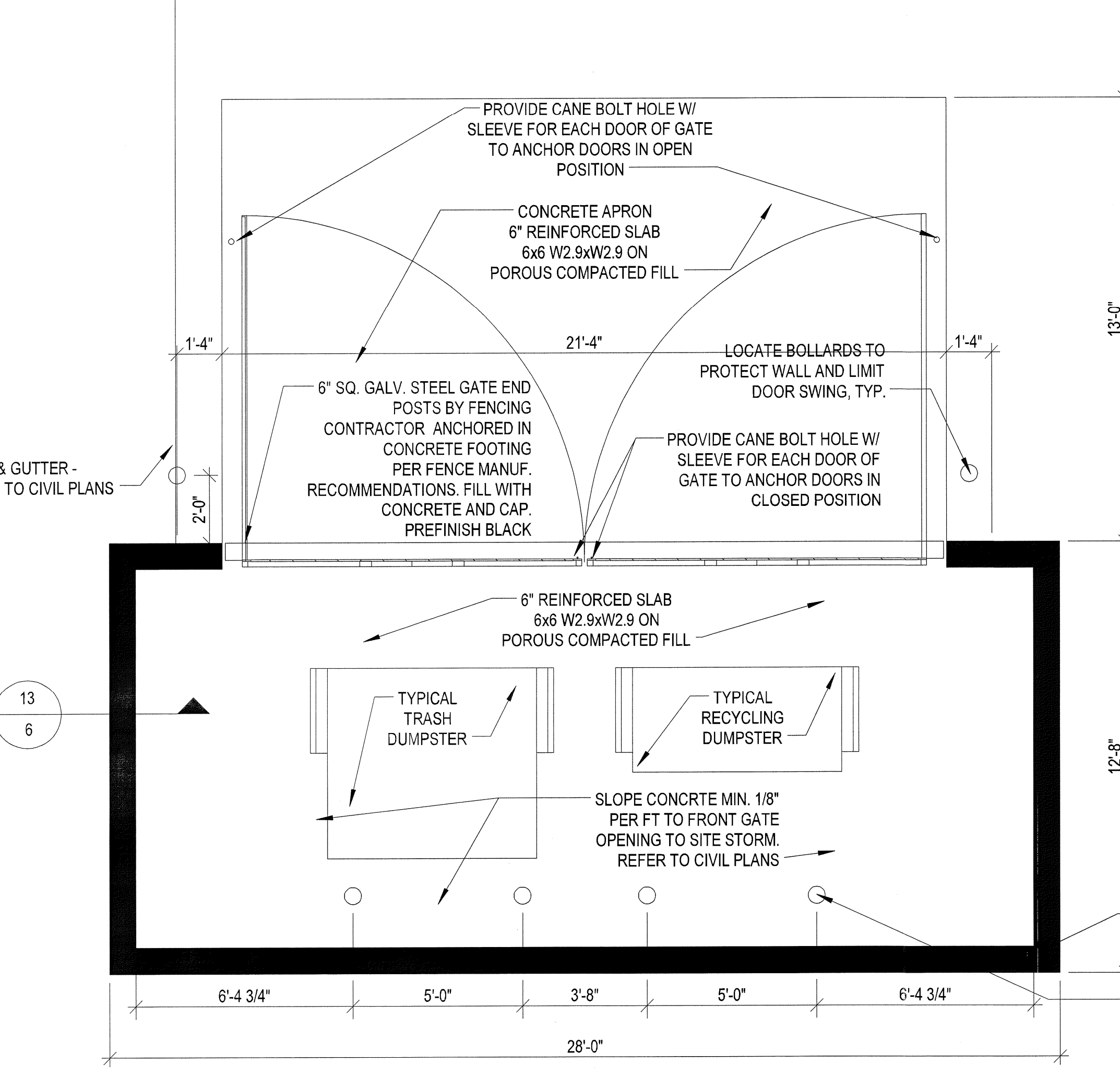
11 SECURITY FENCE - SWING GATE FOR SECURED PARKING NTS



13 DUMPSTER WALL DETAIL NTS



14 DUMPSTER SWING GATE DETAIL NTS



12 DUMPSTER ENCLOSURE DETAIL NTS

CITY OF TUCSON		DEVELOPMENT PACKAGE	
Site/Dev Plan		PDSD APPROVAL	
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<input type="checkbox"/>	Grading	<input type="checkbox"/>	FRZ
<input type="checkbox"/>	SWPPP	<input type="checkbox"/>	HDZ
<input type="checkbox"/>	FUP	<input type="checkbox"/>	WASH
<input type="checkbox"/>		<input type="checkbox"/>	Other
DVPKG MGR	Date	Zoning	Date
Engineering	Date	H/C Site	Date
Fire	Date	PL/ME	Date
Landscape	Date	Revision #	Date
			per letter in SIRE

Two working copies before you call
1-800-782-5348
Blue Stake Center

DP13-0163
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BEING A PORTION OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 14 EAST
GILA & SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY, ARIZONA

1305 S ALVERNON WAY, TUCSON, AZ. 85711

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PROGRESSIVE INSURANCE
SEC ALVERNON WAY AND 22ND STREET
TUCSON, ARIZONA

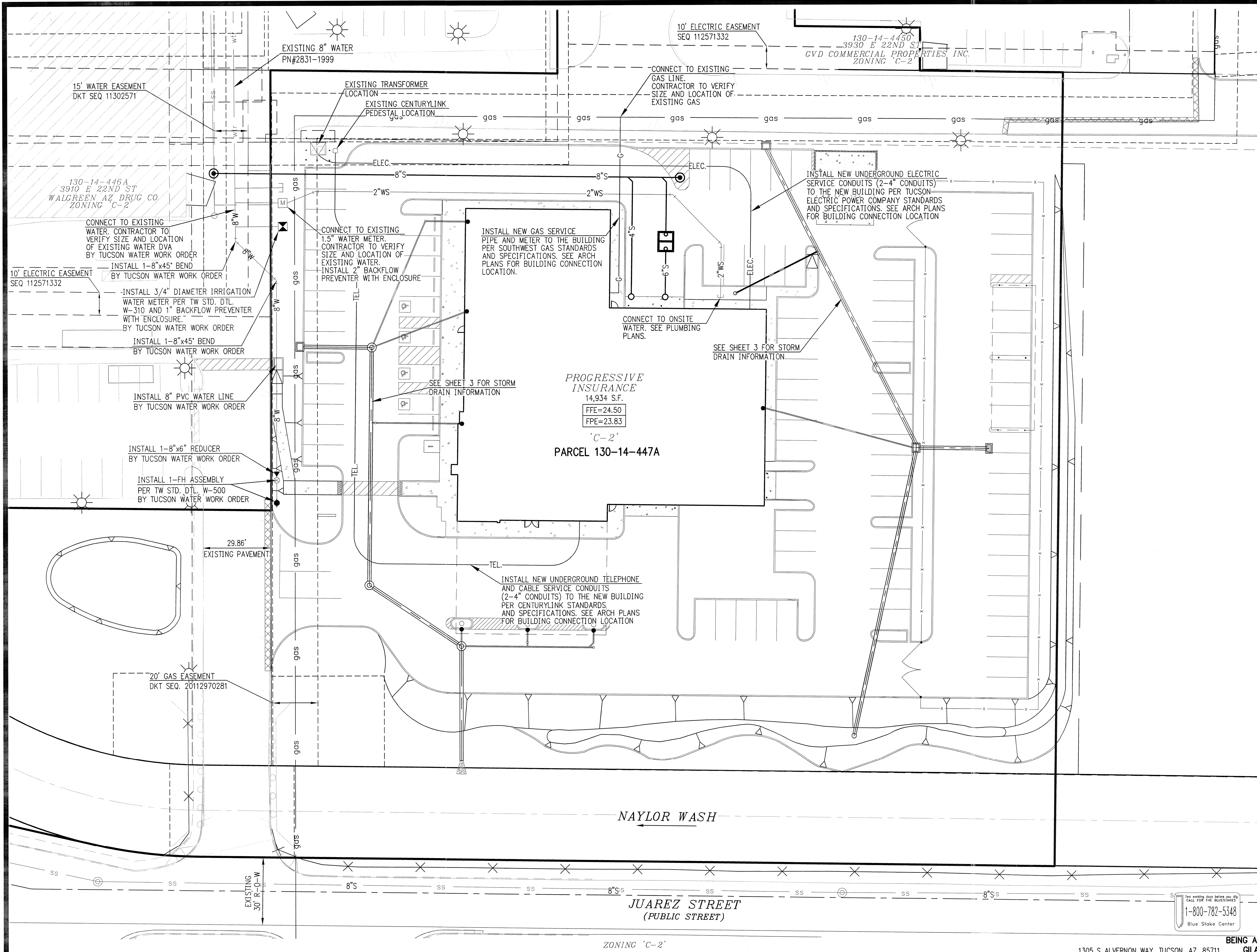
DEVELOPMENT PACKAGE
NOTES AND DETAILS

No.	Date	Item
1	11/30/16	A001-0500
2	SEPTEMBER 2013	LITTLE
3		WLB
4		DWL

Scale	AS SHOWN
Job No.	113016-A001-0500
Date	SEPTEMBER 2013
Designed By	WLB
Checked By	DWL

EXPIRES 6/30/2016

PROGRESSIVE INSURANCE ALVERNON & 22nd DEVELOPMENT PACKAGE
Plotted Sep. 26, 2013 3:52pm
N:\113016\Development Packages\SH-06-DETAILS.dwg



SCALE: 1"=20' C.I.=1'
0' 20' 40'

CITY OF TUCSON

DEVELOPMENT PACKAGE

PSD APPROVAL

☐ Site/Dev Plan ☐ SCZ

☐ Tentative Plat ☐ FRZ

☐ Grading ☐ HDZ

☐ SWPPP ☐ WASH

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and Las Vegas, Nevada
4444 East Broadway
Tucson, Arizona (520) 881-7480

PROGRESSIVE INSURANCE
SEC ALVERNON WAY AND 22ND STREET
TUCSON, ARIZONA

DEVELOPMENT PACKAGE
PRIVATE UTILITY PLAN

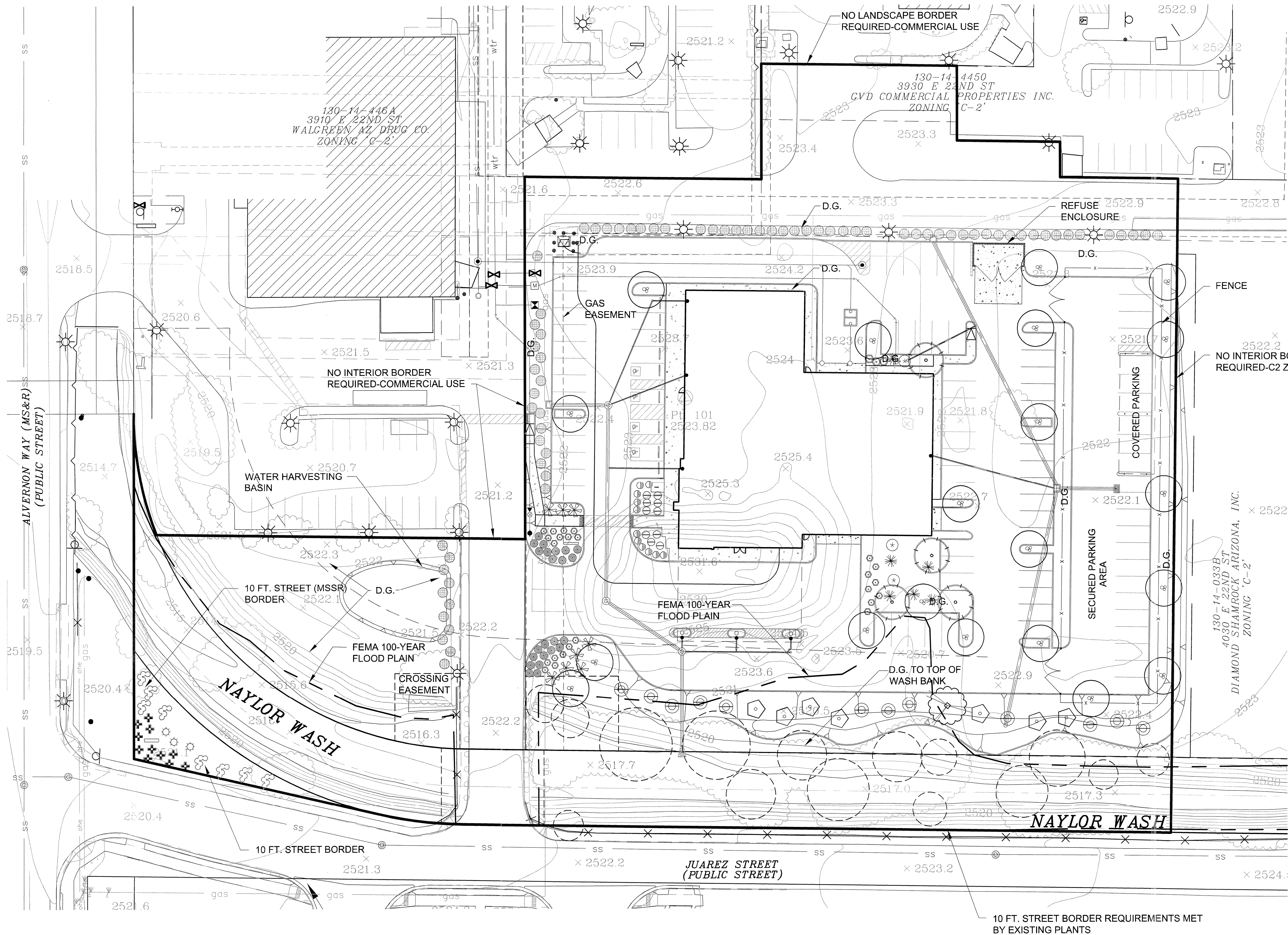
No.	Date	Item



Sheet **9**
of **23**

EXPIRES 6/30/2016

PROGRESSIVE INSURANCE ALVERNON & 22nd DEVELOPMENT PACKAGE
N:\113016\Development Package\SH-09-UTILITY.dwg
Plotted: Sep 26, 2013 - 3:53pm



PLANTING LEGEND

TREES				
SYMBOL	QTY	SIZE	PLANT NAME	COMMENTS
			EXISTING TO REMAIN	
	1	15 GAL.	CELTIS RETICULATA	
	4	24" BOX	CERCIDIUM "DESERT MUSEUM"	SINGLE TRUNK
	20	15 GAL.	PROSOPIS HYRIDR PHOENIX	SINGLE TRUNK

SHRUBS				
SYMBOL	QTY	SIZE	PLANT NAME	COMMENTS
	7	5 GAL.	ACACIA CONSTRICTA	
	27	5 GAL.	CALLIANDRA ERIOPHYLLA	
	12	5 GAL.	CELTIS PALLIDA	
	72	5 GAL.	LEUCOPHYLLUM FRUTESCENS "GREEN CLOUD"	
	11	5 GAL.	RUELLIA PENINSULARIS	

ACCENTS & GROUND COVER				
SYMBOL	QTY	SIZE	PLANT NAME	COMMENTS
	3	5 GAL.	CAESALPINIA PULCHERRIMA	
	3	1 AT 8' 2 AT 5' SPEARS	CARNEGIEA GIGANTEA	
	6	5 GAL.	DASYLIRION WHEELERI	
	11	12" HIGH	FEROCACTUS WISLIZENII	
	8	5 GAL.	HESPERALOE FUNIFERA	
	23	1 GAL.	LANTANA MONTEVIDENSIS	
	10	5 GAL.	OPUNTIA ENGELMANNII	
	8	5 PAD MIN.	RUELLIA PENINSULARIS	

DECOMPOSED GRANITE (D.G.)

3/4" SCREENED ROCK MULCH (MINIMUM); 2" MIN. DEPTH. "DESERT GOLD" AVAILABLE FROM KALAMAZOO MATERIALS (520) 744-8700, OR AS APPROVED BY OWNER.

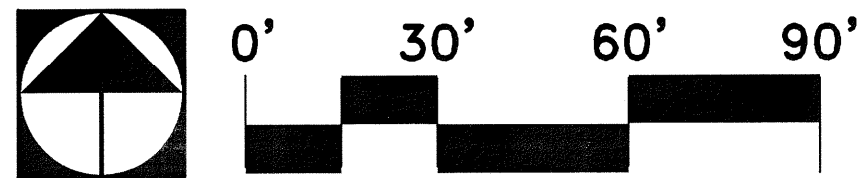
ALL AREAS DISTURBED BY CONSTRUCTION OPERATIONS TO RECEIVE SCREENED ROCK PER THIS SCHEDULE.

PARKING LOT TREE CALCULATIONS

ONE TREE PER FOUR SPACES:
84 SPACES EXCLUDING COVERED PARKING AREA

84 / 4 = 22 TREES REQUIRED/PROVIDED

ALL PARKING SPACES WITHIN 40' OF A TREE



The WLB Group Inc.

Engineering Planning Surveying
Landscape Architecture Urban Design
Offices located in Tucson, Phoenix,
and Flagstaff, Arizona,
Las Vegas, Nevada
4444 East Broadway
Tucson, Arizona (520) 881-7480

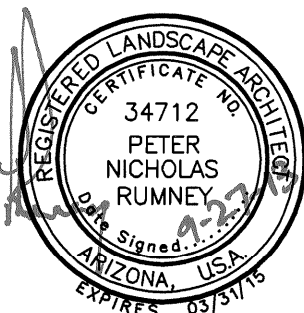
PROGRESSIVE INSURANCE
4002 E. 22ND STREET
TUCSON, ARIZONA

DEVELOPMENT PACKAGE
PLANTING PLAN

Sheet Title

No.	Date	Item

Scale	1"=30'
Job No.	113016A001
Date	SEPTEMBER 2013
Designed By	CB
Checked By	GLG



Sheet 12
of 23

REF: S13-025

1305 S ALVERNON WAY, TUCSON, AZ. 85711

DP13-0163
DEVELOPMENT PACKAGE FOR
PROGRESSIVE INSURANCE

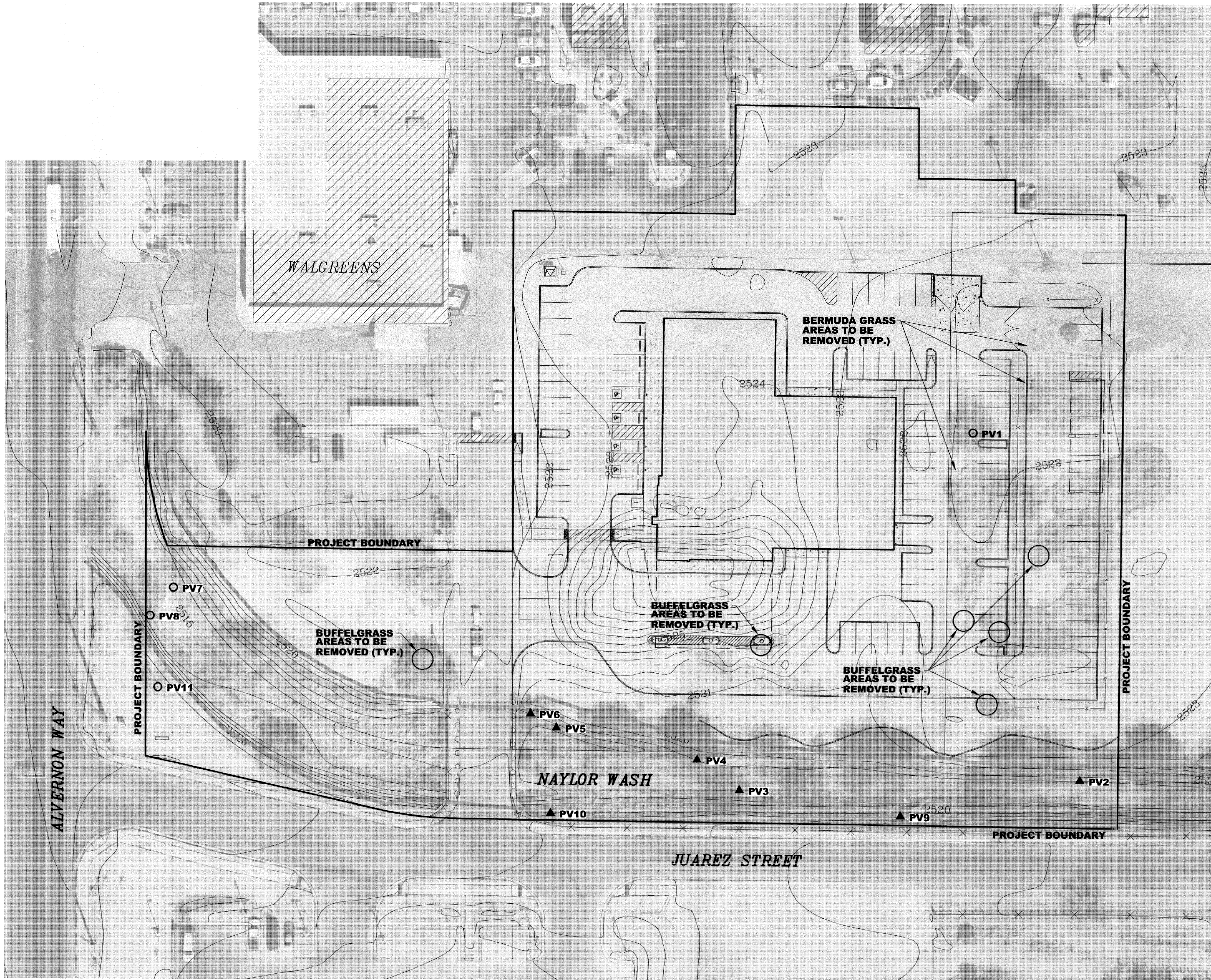
BEING A PORTION OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 14 EAST
GILA & SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY, ARIZONA

Two working days before you do
CALL FOR THE BLUESTAKES!
1-800-782-5348
Blue Stake Center

NPPP - PROGRESSIVE INSURANCE

Plotted: Sep. 26, 2013 - 3:34pm

N:\113016-Development Package\Sheet-12-LS 2.dwg

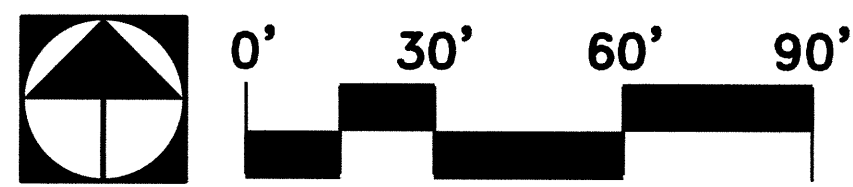


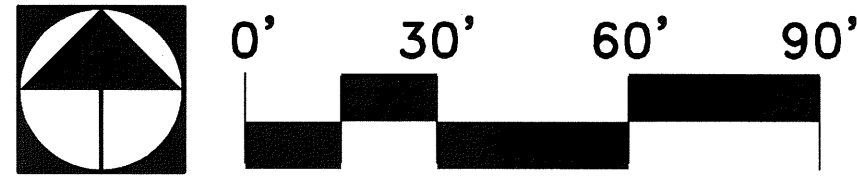
**PROSOPIS VELUTINA
VELVET MESQUITE (PV)**

TYPE	TAG NUMBER	CALIPER (IN.)	HEIGHT (FT.)	VIABILITY	TRANSPLANTABILITY	RIBBON COLOR
PV	1	8	18.0	HIGH	LOW	RED
PV	2	8	20.0	HIGH	LOW	WHITE
PV	3	8	18.0	HIGH	LOW	WHITE
PV	4	10	20.0	HIGH	LOW	WHITE
PV	5	4	16.0	HIGH	LOW	WHITE
PV	6	4	16.0	HIGH	LOW	WHITE
PV	7	8	20.0	HIGH	LOW	RED
PV	8	4	14.0	HIGH	LOW	RED
PV	9	4	10.0	HIGH	LOW	WHITE
PV	10	4	10.0	HIGH	LOW	WHITE
PV	11	6	10.0	HIGH	LOW	RED

LEGEND

- ▲ EXISTING NATIVE PLANTS TO BE PRESERVED IN PLACE
- EXISTING NATIVE PLANTS TO BE REMOVED FROM SITE
- PV PROSOPIS VELUTINA VELVET MESQUITE
- BUFFELGRASS AREAS TO BE REMOVED





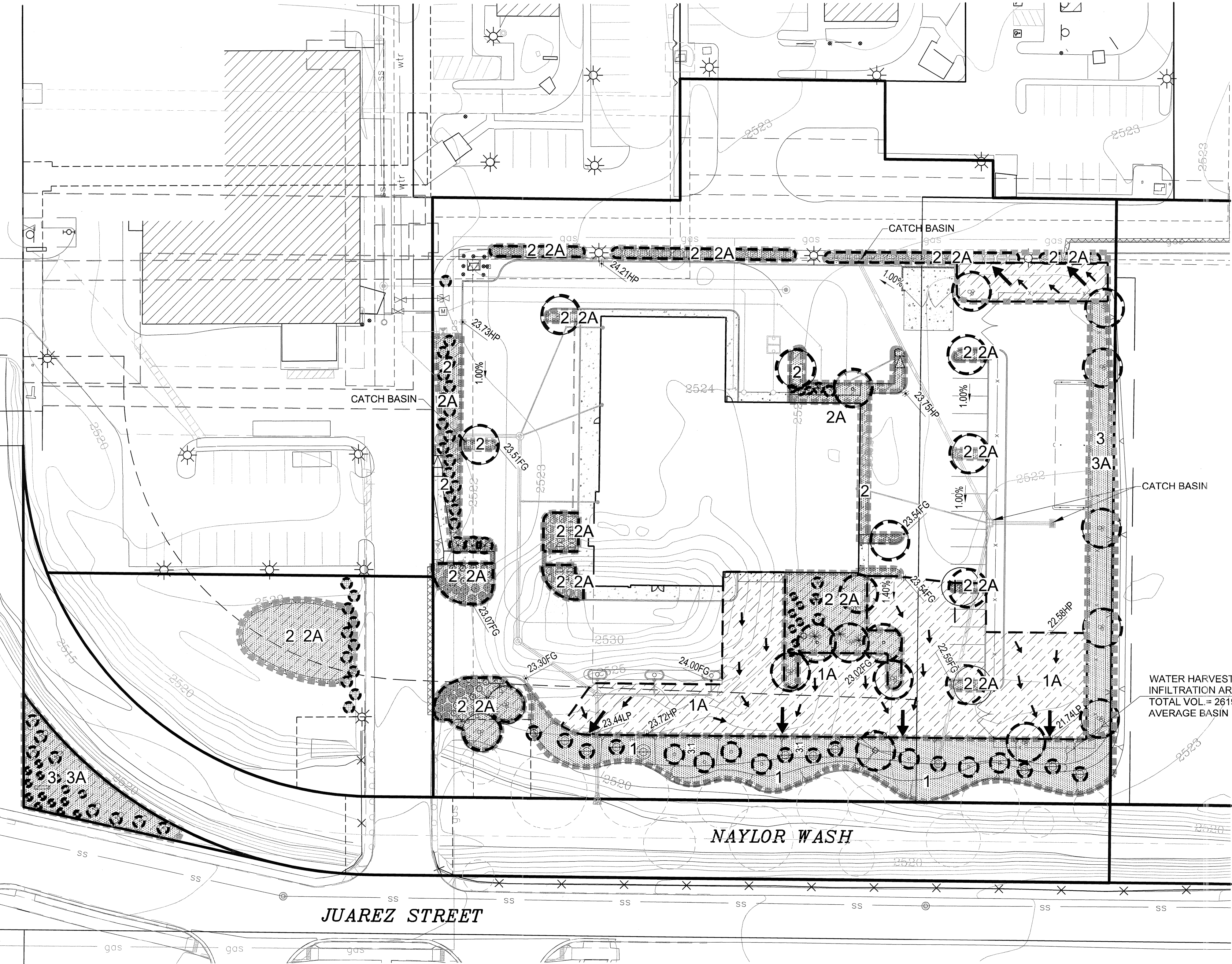
PASSIVE RAINWATER HARVESTING SYSTEM

1. THE SITE UTILIZES A PASSIVE RAINWATER HARVESTING SYSTEM THAT DIRECTS RAINWATER FROM THE PARKING AREAS AND SIDEWALKS THROUGH THE USE OF CURB CUTS. THE WATER COLLECTS IN 12" RECESSED AREAS WITHIN THE PLANTING AREAS AS INDICATED ON THE GRADING PLAN.
2. MONTHLY RAIN DATA WILL BE MONITORED BY A WEATHER SMART IRRIGATION MANAGER - RAINBIRD ETM, WITH TIPPING RAIN GAUGE - ETM-RG. IT WILL BE LOCATED AT THE BUILDING ROOF LINE AND CONNECTED TO THE IRRIGATION CONTROLLER TO TURN OFF IRRIGATION DURING STORM EVENTS.
3. MONTHLY IRRIGATION DATA WILL BE RECORDED ON A SEPARATE WATER METER AND OBTAINED BY TUCSON WATER.
4. SOIL PRETREATMENT MEASURES FOR THIS SITE WILL INCLUDE SCARIFIATION OF PLANT PIT, PRE-SOAKING OF THE PLANT PIT, AMENDING PLANTING BACKFILL, AND PROVIDING FERTILIZER.
5. OWNER SHALL PERIODICALLY INSPECT AND MAINTAIN WATER INFILTRATION AREAS TO ENSURE PROPER INFILTRATION. OVERFLOW AREAS, DRAINS, SPILLWAYS, SCUPPERS, AND OTHER ELEMENTS SHALL BE INSPECTED, REPAIRED AND CORRECTED AS NEEDED.
6. IRRIGATION SYSTEM AND ASSOCIATED COMPONENTS SHALL BE PROPERLY MAINTAINED AND REPLACED AS NEEDED.
7. OWNER SHALL MONITOR MONTHLY POTABLE WATER USE FOR IRRIGATION OF LANDSCAPE PLANTS AS REQUIRED PER THE RAINWATER HARVESTING ORDINANCE.
8. MONTHLY RAINFALL SHALL BE MONITORED USING AN ON-SITE RAIN GAUGE, OR DATA FROM THE CLOSEST AVAILABLE RAIN GAUGE RECORDED AT WWW.RAINLOG.ORG OR ANY OTHER REPUTABLE SOURCE.

LEGEND

- RAINWATER HARVESTING INFILTRATION AREA (WHIA)
- SUBWATERSHED AREA (SWA)
- FLOW ARROW
- CURB CUT
- PLANT CANOPY

WATER HARVESTING INFILTRATION AREA 1
TOTAL VOL. = 2619 CU. FT.
AVERAGE BASIN DEPTH=1.5'



RAINWATER HARVESTING CALCULATIONS

	OVERALL SITE	1	2	3	4
WATER HARVESTING INFILTRATION AREAS - (WHIA #)	12,722	1,560	9,346	1,500	316
PLANT CANOPY AREA (SF)	1.7	1.7	1.7	1.7	0.8
PLANT WATER PER YEAR FOR THIS WHIA (VERTICAL FEET OF WATER PER S.F. OF CANOPY)	161,733	19,837	118,844	19,074	1,891
ANNUAL PLANT WATER DEMAND (GALLONS)	31,647	7,665	18,983	2,850	2,149
WHIA AREA (SF)	0.8	1.5	0.5	0.5	0.5
WHIA AVERAGE DEPTH (FT)	-	1A	2A	3A	4A
SUBWATERSHED AREA IDENTIFIER	36,767	6,006	35,982	2,895	610
IDEAL CATCHMENT AREA TO MEET DEMAND IN MARCH (SF)	44,807	20,825	18,983	2,850	2,149
ACTUAL CATCHMENT AREA INCLUDING WHIA (SF)	78	100	34	63	100
ACTUAL PLANT WATER DEMAND PROVIDED (PERCENTAGE)	ANNUAL PLANT WATER DEMAND PROVIDED FOR PROJECT = 78% (126,151 GAL/YR) (REQUIRED = 50%)				

RAINWATER HARVESTING CALCULATIONS

1. CALCULATIONS ARE BASED ON INFORMATION OBTAINED FROM THE CITY OF TUCSON OFFICE OF CONSERVATION AND DEVELOPMENT. CATCHMENT RATIO CALCULATIONS WERE DONE WITH NUMBERS FROM TABLE 'A-6' OF THE COMMERCIAL RAINWATER HARVESTING DEVELOPMENT STANDARD.
2. CALCULATIONS WERE BASED ON FIGURES FOR THE MONTH OF MARCH.
3. BASED ON THE ABOVE CALCULATIONS, THE RAINWATER HARVESTING MEASURES MEET THE REQUIRED NEEDS FOR THE ENTIRE SITE FOR THE MONTH OF MARCH. THIS IS IN LINE WITH THE CITY OF TUCSON COMMERCIAL RAINWATER HARVESTING DEVELOPMENT STANDARD. THIS DEMONSTRATES THAT 50% OF THE IRRIGATION NEEDS HAS BEEN MET BY RAINWATER HARVESTING.
4. PLANT SIZES ARE 60% OF THE MATURE WIDTH AS NOTE BY THE ADWR PLANT LIST.

CITY OF TUCSON DEVELOPMENT PACKAGE

PDSD APPROVAL

☐ Site/Dev Plan ☐ SCZ

☐ Tentative Plat ☐ FRZ

☐ Grading ☐ HDZ

☐ SWPPP ☐ WASH

☐ FUP ☐ Other

DVPGK MGR _____ **Date** _____

Zoning _____ **Date** _____

Engineering _____ **Date** _____

H/C Site _____ **Date** _____

Fire _____ **Date** _____

Landscape _____ **Date** _____

PL/ME _____ **Date** _____

Revision # _____ ☐ per letter in SIRE

DP13-0163
DEVELOPMENT PACKAGE FOR
PROGRESSIVE INSURANCE
BEING A PORTION OF SECTION 22, TOWNSHIP 14 SOUTH, RANGE 14 EAST
GILA & SALT RIVER MERIDIAN, TUCSON, PIMA COUNTY, ARIZONA

REF: S13-025
1305 S ALVERNON WAY, TUCSON, AZ. 85711



PETERS · JEPSON PARTNERSHIP, inc.

ARCHITECTURE & PLANNING

May 14, 2024

You are invited to a neighborhood meeting on June 3, 2024, to discuss a proposed rezoning of a commercial parcel (Assessor's Tax Parcel number 130-144-510) located at 1305 S. Alvernon Way. The parcel is currently zoned C-2, it is the desire to change this to C-3. The property was until recently, operated as a claim's office for *Progressive Insurance*. The proposed rezoning would allow an autobody repair use similar in nature to those immediately adjacent along Alvernon Way and Juarez Street also zoned C-3. This action is related to **"Pre-Application" Project No. TP-PRE-0324-00063.**

Meeting Information:

Date: June 3, 2024

Time: 5:30 – 7:00PM

Location: Himmel Park Library Meeting Room
1035 N Treat Ave., Tucson, AZ 85716

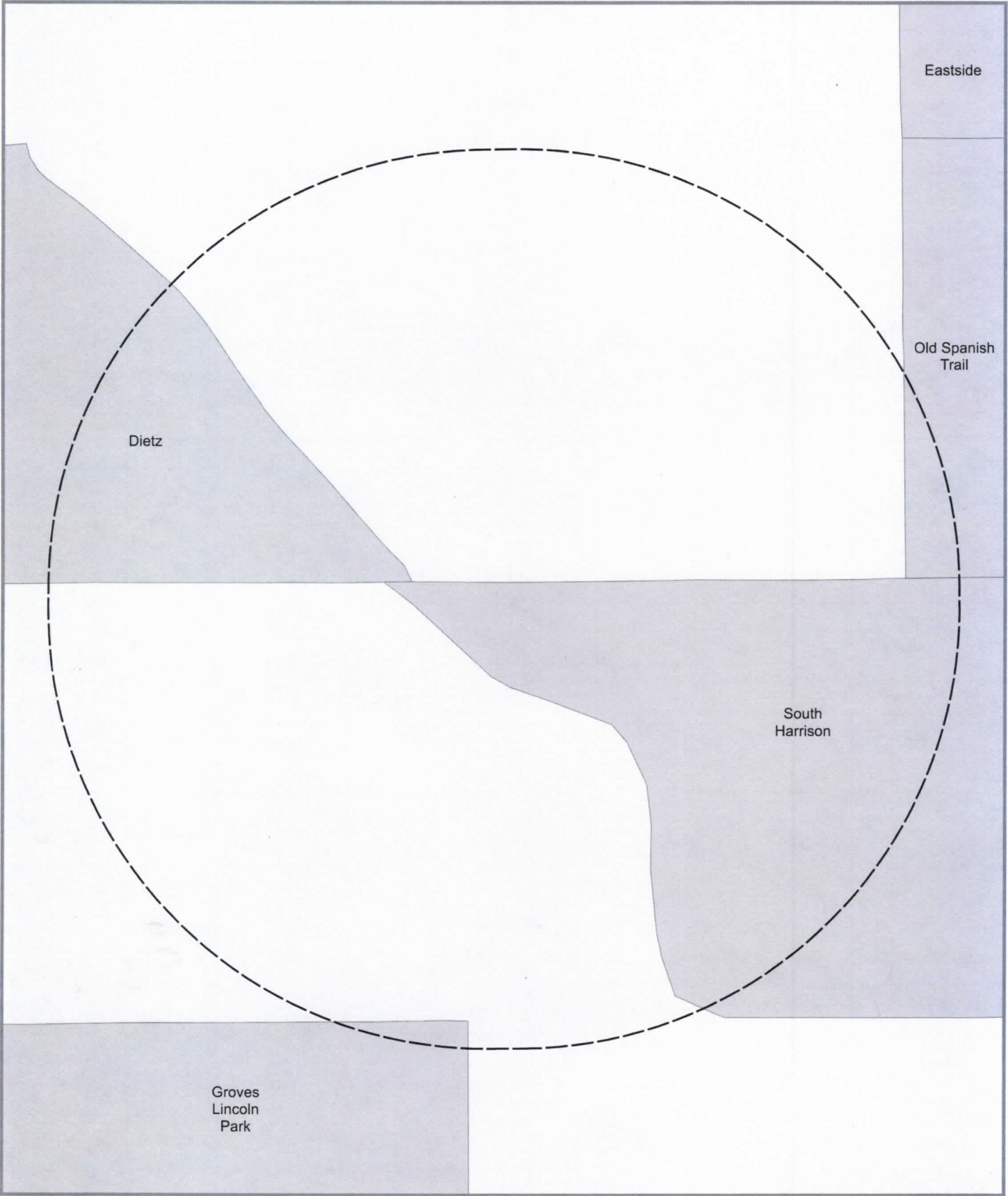
Please refer to the accompanying project map for location.

Representatives of the applicant will be available to answer any questions or comments you may have. Your comments or questions related to this rezoning request may also be directed to the City of Tucson PDS Director.

TUCSON CITY PLANNING DEPARTMENT
201 N. STONE AVE.
TUCSON, AZ 85701
Email: pdsdinquiries@tucsonaz.gov

Interested individuals may review the "Pre-Application" materials by emailing: randy@pjparch.com
or: swvette@gmail.com

REZONING Preliminary Development Plan TP-ENT-0624-00015 Date 07/08/2024 Planning & Development Services
--



Subject Property



1 Mile Notification Area



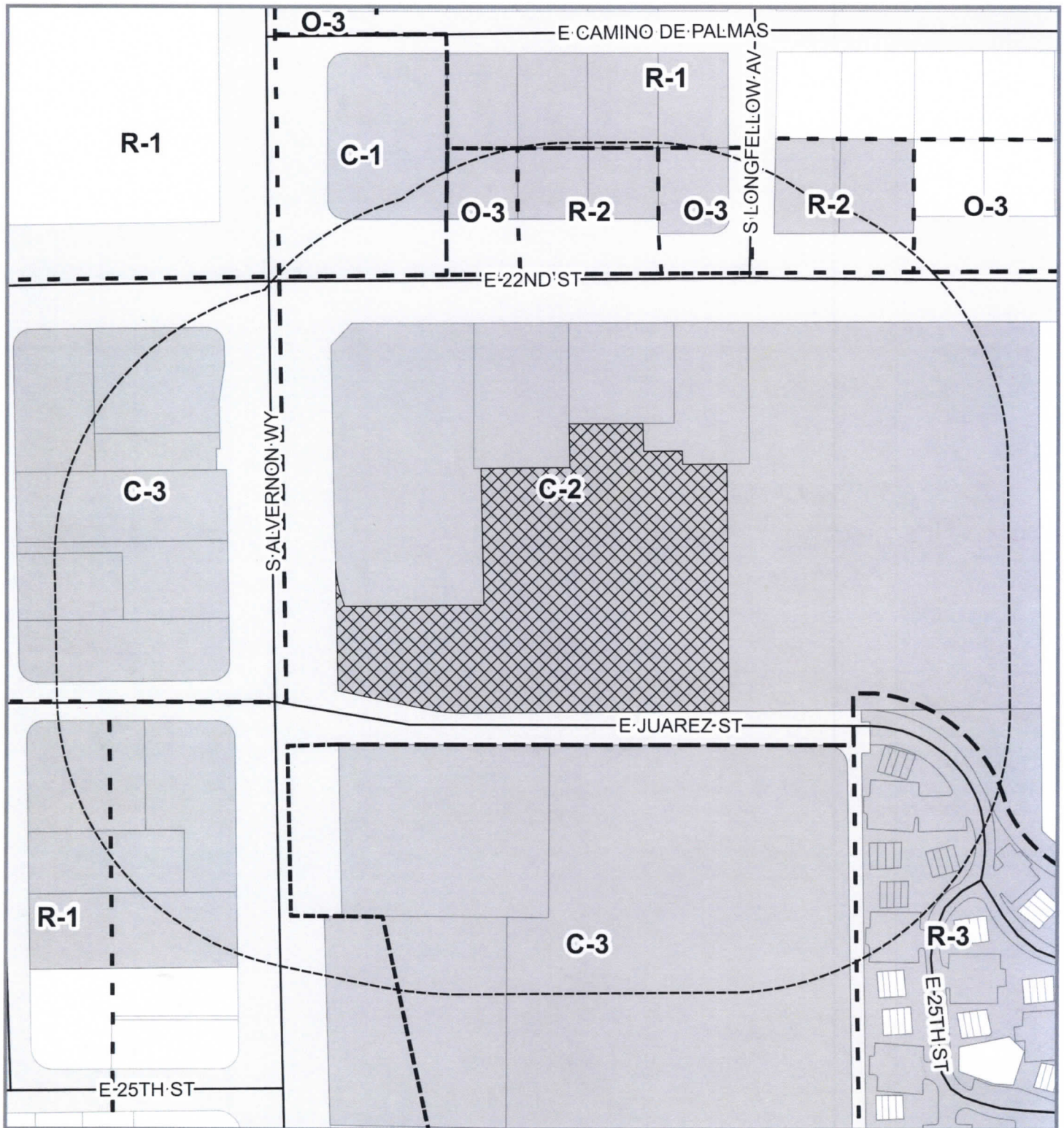
0

0.25

0.5

Miles

TP-PRE-0324-00063 1305 S Alvernon Way



Subject Property



Zone Boundaries



Properties Notified



400' Notification Area

Address: 1305 S ALVERNON WY
Base Maps: Twp. 1403 Range 1402 Sec. 22
Ward(s): 6

0 90 180 Feet

1:2,395



Name	Organization
Regina Romero	Mayor
Theresa Riel	N.A. - Rosemont West
Leah Vidal	N.A. - Julia Keen
Arlis M. Witz	N.A. - Naylor
Mathew Zoll	N.A. - San Clemente
Nanette Warner	N.A. - Aldea Linda
Jan Schwartz (Co-President)	N.A. - San Gabriel
Diane M. Campbell	N.A. - Alvernon Heights
John Dowdall	N.A. - Myers
Lanae McDade	N.A. - Rosemont West
Sofia Blue	N.A. - Julia Keen
AjahnSarayut Arnanta-Abbot	N.A. - Aldea Linda
Jackie Ronstadt	N.A. - San Gabriel
Helen Ferris	N.A. - Alvernon Heights
Rudi Cihak	N.A. - Myers
Michele Corradini	N.A. - Rosemont West
Mary Hatcher	N.A. - Julia Keen
Anthony Haswell	N.A. - San Clemente
Karen Probert	N.A. - Aldea Linda
Spencer Harding	N.A. - San Gabriel
Michelle Ain	N.A. - Alvernon Heights
Nikki Lee	Ward 4
Steve C. Kozachik	Ward 6
Richard G. Fimbres	Ward 5

Address	City, State, Zip
255 W. Alameda ST	Tucson, AZ 85701
5003 E Cooper St	Tucson, AZ 85711
3726 E 26th St	Tucson, AZ 85713
4357 E 28th Street	Tucson, AZ 85711
4010 E Palomar Dr	Tucson, AZ 85711
255 N Rosemont Blvd #12662	Tucson, AZ 85711
4224 E Marion Trail	Tucson, AZ 85711
4122 E Sylvane Dr	Tucson, AZ 85711
4950 E 28th street	Tucson, AZ 85711
5019 E. Timrod St.	Tucson, AZ 85711
3217 E 25th street	Tucson, AZ 85713
1133 S Swan Road	Tucson, AZ 85711
4130 E Santa Barbara Ave	Tucson, AZ 85711
1524 S Columbus Blvd #4	Tucson, AZ 85711
4934 E Andrew St	Tucson, AZ 85711
4910 E. Cooper St.	Tucson, AZ 85711
3312 E 26th St	Tucson, AZ 85713
3935 E. Calle de Jardin	Tucson, AZ 85711
4961 E Calle Jabali	Tucson, AZ 85711
40556 E 17th St	Tucson, AZ 85711
4025 E 26th St	Tucson, AZ 85711
8123 E. Poinciana DR	Tucson, AZ 85730
3202 E. 1st ST	Tucson, AZ 85716
4300 S. Park AV	Tucson, AZ 85714

Email

triel65@gmail.com
leahvidal46@gmail.com
awitzagain@aol.com
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nmwarner1985@gmail.com
janschwartz4@gmail.com

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bigplanefixer@hotmail.com
mmcorradini@yahoo.com
maryglenhatcher@gmail.com
tonyhaswell@cox.net
karenprobert@tds.net
spencerjharding@gmail.com

PARCEL	MAIL1
	130144540 NAYLOR WASH LLC
13014453B	CARMAX AUTO SUPERSTORES INC
	130144510 PROGRESSIVE CASUALTY INSURANCE CO
13014446A	PROJECT CAPRICORN FUND V LLC
	130144450 GVD COMMERCIAL PROPERTIES INC
	130144440 EMPTY BOX LLC
	130144430 3970 22ND ST LLC
	130144250 FIRM FOUNDATIONS-COLUMBUS VILLAGE
13014039C	AZ ITX PARTNERS LLC
13014039B	QUIKTRIP CORP
13014037A	NATIONAL RETAIL PROPERTIES LP
13007158F	DIAMOND K RENTALS LLC
13007153E	ALVERNON WAY TUCSON RENTAL LLC
13007153D	LOAN PRAIRIE LLC
	130070070 DANS PAINT AND BODY INC
	130070060 UNISOURCE ENERGY CORP
	130070050 1310 S ALVERNON LLC
13007004A	HUNSAKER PROPERTY MANAGEMENT LLC
13007003B	CIRCLE K STORES INC
	126181240 QUIHUIS DIANA L
	126181230 CASTILLO MARIO
	126181200 DEED AND NOTE TRADERS LLC
	126181190 DARKO TIMOTHY ALEXANDER
	126181180 ACEDO RICHARD R JR & ACEDO ALLEN L JT/RS
	126181170 SANTA CRUZ ELENA ARMENTA & SANTA CRUZ-FELIX
12618116A	SANTA CRUZ ELENA ARMENTA & SANTA CRUZ-FELIX
12618115A	TUCSON E 22ND TAKE FIVE LLC
12618111C	MC CLASKEY MICHAEL G SR TR &

MAIL2

5901 S BELVEDERE AVE

12800 TUCKAHOE CREEK PKWY

PO BOX 89429

ATTN: WALGREEN CO # 5892 TAX DEPT

1915 E KATELLA AVE STE A

8340 N THORNYDALE RD STE 110 PMB 332

ATTN: ACCOUNTING DEPARTMENT

ATTN: ESCROW ADMIN LOAN # 010172295

ATTN: HARRISON PROPERTIES LLC

4705 S 129TH EAST AVE

1255 W RIO SALADO PKWY STE 111

1440 S ALVERNON WAY

9255 E WRIGHTSTOWN RD

1330 S ALVERNON WAY

PO BOX 35186

ATTN TAX DIRECTOR

7317 S VIA CABANA

3810 E 22ND ST

ATTN: PROPERTY TAX DEPT DC 17

1880 W BLUEBERRY LN

1125 S LONGFELLOW AVE

1310 N ALVERNON WAY

3942 E CAMINO DE PALMAS

3956 E CAMINO DE PALMAS

EVELYN & SANTA CRUZ PATRICIA G

EVELYN

106 FOSTER AVE

MC CLASKEY DONNA M TR

MAIL3	MAIL4	MAIL5	ZIP
TUCSON AZ			85706
RICHMOND VA			23238
CLEVELAND OH			44101
PO BOX 901	DEERFIELD IL		60015
ORANGE CA			92867
TUCSON AZ			85741
2870 N SWAN RD STE 100	TUCSON AZ		85712
11501 OUTLOOK ST STE 300	OVERLAND PARK KS		66211
5112 N 40TH ST STE 105	PHOENIX AZ		85018
TULSA OK			74134
TEMPE AZ			85281
TUCSON AZ			85711
TUCSON AZ			85715
TUCSON AZ			85711
TUCSON AZ			85740
PO BOX 711 MS HQW802	TUCSON AZ		85702
TUCSON AZ			85756
TUCSON AZ			85713
PO BOX 52085	PHOENIX, AZ		85072
TUCSON AZ			85745
TUCSON AZ			85711
TUCSON AZ			85712
TUCSON AZ			85711
TUCSON AZ			85711
3966 E CAMINO DE PALMAS	TUCSON AZ		85711
3966 E CAMINO DE PALMAS	TUCSON AZ		85711
CHARLOTTE NC			28203
4034 SW 55TH DR	PORTLAND OR		97221

DANS PAINT AND BODY INC
PO BOX 35186
TUCSON AZ 85740

DEED AND NOTE TRADERS LLC
1310 N ALVERNON WAY
TUCSON AZ 85712

UNISOURCE ENERGY CORP
PO BOX 711 MS HQW802
TUCSON AZ 85702

DARKO TIMOTHY ALEXANDER
3942 E CAMINO DE PALMAS
TUCSON AZ 85711

1310 S ALVERNON LLC
7317 S VIA CABANA
TUCSON AZ 85756

ACEDO RICHARD R JR & ACEDO ALLEN L JT/RS
3956 E CAMINO DE PALMAS
TUCSON AZ 85711

HUNSAKER PROPERTY MANAGEMENT LLC
3810 E 22ND ST
TUCSON AZ 85713

SANTA CRUZ ELENA ARMENTA & SANTA CRUZ-FELIX
3966 E CAMINO DE PALMAS
TUCSON AZ 85711

CIRCLE K STORES INC
PO BOX 52085
PHOENIX, AZ 85702

SANTA CRUZ ELENA ARMENTA & SANTA CRUZ-FELIX
3966 E CAMINO DE PALMAS
TUCSON AZ 85711

QUIHUIS DIANA L
1880 W BLUEBERRY LN
TUCSON AZ 85745

TUCSON E 22ND TAKE FIVE LLC
106 FOSTER AVE
CHARLOTTE NC 28203

CASTILLO MARIO
1125 S LONGFELLOW AVE
TUCSON AZ 85711

MC CLASKEY MICHAEL G SR TR
4034 SW 55TH DR
PORTLAND OR 97221

NAYLOR WASH LLC
5901 S BELVEDERE AVE
TUCSON, AZ 85706

FIRM FOUNDATIONS
11501 OUTLOOK ST STE 300
OVERLAND PARK KS 66211

CARMAX AUTO SUPERSTORES INC
12800 TUCKAHOE CREEK
RICHMOND VA 23238

AZ ITX PARTNERS LLC
5112 N 40TH ST STE 105
PHOENIX AZ 85018

PROGRESSIVE CASUALTY INSURANCE CO
PO BOX 89429
CLEVELAND OH 44101

QUIKTRIP CORP
4705 S 129TH EAST AVE
TULSA OK 74134

PROJECT CAPRICORN FUND V LLC
PO BOX 901
DEERFIELD IL 60015

NATIONAL RETAIL PROPERTIES
1255 W RIO SALADO PKWY #111
TEMPE AZ 85281

GVD COMMERCIAL PROPERTIES INC
1915 E KATELLA AVE STE A
ORANGE CA 92867

DIAMOND K RENTALS LLC
1440 S ALVERNON WAY TUCSON AZ
85711

EMPTY BOX LLC
8340 N THORNYDALE RD
STE 110 PMB 332
TUCSON AZ 85741

ALVERNON WAY TUCSON RENTAL
9255 E WRIGHTSTOWN RD
TUCSON AZ 85715

3970 22ND ST LLC
2870 N SWAN RD STE 100
TUCSON AZ 85712

LOAN PRAIRIE LLC
1330 S ALVERNON WAY
TUCSON AZ 85711

Regina Romero - Mayor
255 W. Alameda St
Tucson, AZ 85701

Diane M. Campbell
Alvernon Heights
4122 E Sylvane Dr
Tucson, AZ 8571

Theresa Riel
Rosemont West
5003 E Cooper St
Tucson, AZ 85711

John Dowdall - Myers
4950 E 28th St
Tucson, AZ 85711

Leah Vidal – Julia Keen
3726 E 26th St
Tucson, AZ 85713

Lanae McDade
Rosemont West
5019 E. Timrod St
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Arlis M. Witz - Naylor
4357 E 28th Street
Tucson, AZ 85711

Sofia Blue, Julia Keen
3217 E 25th street
Tucson, AZ 85713

Mathew Zoll
San Clemente
4010 E Palomar Dr
Tucson, AZ 85711

AjahnSarayut Arnanta-Abbot
1133 S Swan Road
Tucson, AZ 85711

Nanette Warner
Aldea Linda
255 N Rosemont Blvd #12662
Tucson, AZ 85711

Jackie Ronstadt
San Gabriel
4130 E Santa Barbara Ave
Tucson, AZ 85711

Jan Schwartz (Co-President)
San Gabriel
4224 E Marion Trail
Tucson, AZ 85711

Helen Ferris
Alvernon Heights
1524 S Columbus Blvd #4
Tucson, AZ 85711

Rudi Cehak
Myers
4934 E Andrew St
Tucson, AZ 85711

Nikki Lee
Ward 4
8123 E. Poinciana DR
Tucson, AZ 85730

Michele Corradini
Rosemont West
4910 E. Cooper St.
Tucson, AZ 85711

Steve C. Kozachik
Ward 6
3202 E. 1st ST
Tucson, AZ 85716

Mary Hatcher, Julia Keen
3312 E 26th St
Tucson, AZ 85713

Richard G. Fimbres
Ward 5
4300 S. Park AV
Tucson, AZ 85714

Anthony Haswell
San Clemente
3935 E. Calle de Jardin
Tucson, AZ 85711

Karen Probert, Aldea Linda
4961 E Calle Jabali
Tucson, AZ 85711

Spencer Harding
San Gabriel
40556 E 17th St
Tucson, AZ 85711

Michelle Ain
Alvernon Heights
4025 E 26th St
Tucson, AZ 85711

Welcome!
Please Sign In

Rezone C2 to C3 Neighborhood Meeting

Himmel Park Library Meeting Room 1035 N Treat Ave., Tucson, AZ 85716

June 3, 2024

No.	Name	Date	Contact Info	Comments
1	RICHARD ROMERO	6/3/24	520-631-8656	
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
16				
17				
18				
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1305 S Alvernon Way Rezoning
TP-PRE-0324-00063
Neighborhood Meeting Summary

Project: VetWest Investments, LLC has recently acquired 1305 S Alvernon Way (the "Property"), traded by Progressive Casualty Insurance. The property is located south of 22nd street on Alvernon Way in the city of Tucson ("City"). VetWest is proposing to buildout the building to accommodate Crash Champions (the "Project"), a high tier autobody and collision center. The Property is currently zoned Commercial C-2, which restricts the usage of heavy autobody repair. To enable proposed usage, VetWest is requesting a rezoning from the current C-2 to C-3 zoning.

Date/Time: Monday, June 3, 2024
5:30 p.m.

Location: Himmel Park Library Meeting Room, 1035 N Treat Ave., Tucson, AZ 85711

Meeting Invitation: The meeting invitation was sent to all property owners within 500 feet of the property via First-Class Mail using a city-generated mailing list. (See attached meeting invitation letter and mailing labels.

Attendance: Other than the Project Team, only one neighbor attended the meeting. (See Neighborhood Meeting Sign-In Sheet)

Project Team: Steven Vettel (Project Developer)
Jessica Bojorquez (Real Estate & Planning/Zoning Assistant)

Meeting Synopsis: Ms. Bojorquez opened the meeting and introduced the project and team to the neighbor, Richard Romero, the owner of Dan's Autobody (located across Alvernon Way on 22nd Street, just west from the Property).

Ms. Bojorquez explained the Property's existing zoning is C-2, which permits major services and repair for vehicles. However, rezoning will also include automotive bodywork and painting. There are existing body shops on both Juarez Street and Alvernon Way.

Ms. Bojorquez reviewed the current usage with Progressive insurance claims. The Property is set up to inspect and assess damage to vehicles, perform minor repairs, along with post inspections and deliverance of repaired vehicles.

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Meeting Synopsis: Ms. Bojorquez described the proposed use of Crash Champions, a national collision repair chain with over 600 locations. The Project will include inspecting and asses damaged vehicles, perform all needed collision repairs, and provide rental cars. This location is proposed to employ 25-30 team members.

Ms. Bojorquez indicated there are no proposed changes to the existing building structure or parking areas and building signage will be comparable in size and location.

Ms. Bojorquez concluded the meeting by pointing out on the location map that existing C-3 zoning is within less than 500ft away from the property. The proposed use will allow the area to become a hub for autobody, bringing more jobs to the area and traffic to the surrounding businesses.

There were no questions and/or comments about the project from Richard.

RECEIPT (REC-032586-2024)
FOR CITY OF TUCSON

BILLING CONTACT

Peters Jepson Partnership
Randall Jeffery Jepson
24465 Via Arriba Linda
Yorba Linda, CA 92887



Payment Date: 05/07/2024

Reference Number	Fee Name	Transaction Type	Payment Method	Amount Paid
TP-PRE-0324-00063	Notification Fee - Mailing - 400 Feet	Fee Payment	Credit Card	\$220.00
1305 S ALVERNON WY TUCSON, AZ 85711				
SUB TOTAL				\$220.00
TOTAL				\$220.00



PETERS • JEPSON PARTNERSHIP, inc.

ARCHITECTURE & PLANNING

Request for Zoning Designation Change from C-2 to C-3

1305 S. Alvernon Way, Tucson, AZ

APN 130-144-510

TP-PRE-0324-00063

Development Sponsor: Vet West Investment Group

Table of Contents

1. Project Description and assessment of proposed zone change within context of existing community elements and characteristics.
2. Photo documentation of existing building and site.
3. Maps identifying project location.
4. "Neighborhood Meeting", mailing list, proximity map, minutes of meeting, receipt of payment for city provided mailing list
5. Drawing exhibits.

These include:

Current site plan(s) with pertinent tabular information and zoning characteristics of the immediate area.

Pertinent drawings prepared at the time of initial project entitlement (DP-13-0163) and subsequent construction permitting.

REZONING

Preliminary Development Plan

TP-ENT-0624-00015 Date 07/08/2024

Planning & Development Services



Project Introduction and Policy Overview

Request for zoning designation change from C-2 to C-3
1305 S. Alvernon Way, Tucson, AZ
APN 130-144-510
TP-PRE-0324-00063
Development sponsor: Vet West Investment Group

Reasons for request of zoning redesignation

The project sponsor is desirous of revising the current zoning designation of C-2 to C-3 to allow the operations of a full service auto body collision repair shop. Per the Tucson Development Code, a C-2 zoning permits “major service and repair” of vehicles but specifically excludes bodywork and paint booths. A C-3 zoning designation would permit body repair and paint booths in addition to “major service and repair. It should be noted that auto body repair shops are immediately adjacent to the subject parcel along the west side of Alvernon Way (which has a C-3 designation). It is the sponsor’s intent not to change in any way the current building or site configuration in any manner.

Existing Building and Site

The existing building has functioned as an auto insurance claims office since its construction in 2014. The entitlement for the original development under file DP-13-0163, September of 2013. The building has a decidedly “upscale” appearance to it, looking more like an office than a typical body shop. Contemporary architectural elements and materials add to this aesthetic.

As noted earlier, no modification to the building’s elevations, beyond tenant signage, is proposed. No additional door openings for vehicle access are proposed.

As an insurance claims office, there was a substantial number of cubicle stations (40+) occupied by a similar number of employees. Regional meetings were convened here with a need for large conference rooms. The repurposing of this facility will see the removal of all those features. This facility will be reconfigured internally for multiple vehicle repair bays and typical staff administrative offices and customer reception area.

The site benefits from a mature, well maintained landscape. These plant selections and placement were approved along with the initial project entitlement. Accompanying photos depict the current conditions of the landscape.

Site Analysis

Please refer to the accompanying exhibits for the project site configuration and developments to the adjacent property boundaries.

Adjacent Zoning

As noted, the subject parcel is designated C-2. The adjoining parcels also share a C-2 designation. These uses include a Walgreens Pharmacy, small scale fast food restaurants and a "CARMAX" auto sales lot to our immediate east. The property along the south side of Juarez Street is zoned C-3 as are the parcels along the west side of Alvernon Way. It is because of the adjacency of C-3 zoned uses we believe the requested zone change would have a negligible effect.

Refer to the accompanying exhibits for delineation and depiction of adjacent zoning designations.

Circulation and Trips

The subject building is situated between East 22nd Street and Juarez Street with access provided from Alvernon Way. The access from Alvernon being a shared driveway with the Walgreens Pharmacy. A second access drive is provided on Juarez Street east of the Alvernon intersection.

The intersection of East 22nd Street and Alvernon Way is signalized with dedicated left-hand turn lanes. The intersection of Alvernon Way at Juarez Street is neither signalized nor posted with signage. There is a dedicated left-hand turn lane from southbound Alvernon to Juarez.

As this is an existing development, no street improvements are associated with this rezoning. All curb cuts and driveways are compliant with current city standards.

No proposed modifications or additions to current traffic signalization within a mile of the site are anticipated.

Any existing bike lanes and pedestrian walkways will remain unchanged. Existing park-and-ride and public bus stops remain unchanged.

No changes to existing right-of-way dedications are anticipated.

Traffic trip counts are expected to be significantly less with this facility repurposing than with the previous claims' office use. The previous use required nearly sixty employees plus frequent visits by customers. The proposed body shop repair will employ approximately twenty employees and customers that will be leaving their vehicle for repair.

Cultural Resources

At the time of the original development's entitlement (DP-13-0163) any associated investigation of the property for historic or archeological purposes would have been conducted. It is our understanding that no such unique characteristics were present at that time.

Hydrology & Drainage

As conditioned during the initial development entitlement for this parcel, all appropriate measures of site drainage and hydrology were demonstrated. The original, approved grading plan, sheet 3 of 23. Is included for review and comment. Sheet 5 of 23 of the original design documents has been reproduced. This sheet includes a "Table of 10 and 100 year pre-developed peak discharge" amounts. Sheet 18 of 23 of the original design documents also accompanies this submittal. This drawing depicts all manner of rainwater harvesting and infiltration. Limits of the flood and proximity to the "Naylor Wash" are also depicted.

Schools, Recreational and Cultural Facilities

No effect upon schools, recreational and cultural facilities is anticipated.

No schools, parks, libraries or public lands abut the project site.

Pedestrian and bike routes are unaffected by this request for rezoning.

Soils

The subject site is fully improved and its final graded state. No disturbed areas or unstable soils are present.

No hazardous materials are present on the site. A thorough investigation of the site was conducted prior to the purchase of the property. No remediation measures are required.

No known landfill sites or hazardous materials storage locations are located within a one mile proximity.

No existing facilities or operations within a mile of the subject site would impact on the proposed operations on this site.

Topography

Refer to the accompanying grading plan exhibit for the specific grades and contours of the site.

The parcel is not located within the Hillside Development Zone (HDZ).

The subject site is flat in appearance. No slope percentages approach 15%.

Utilities

The site will remain served by the local utility purveyors already in place. An exhibit (sheet 9 of 23) prepared at the time of the original entitlement, identifies all utilities placement on the parcel. Please refer to the attached.

Vegetation

Please refer to sheet 17 of 23 for an exhibit depicting existing plants preserved in place. Those plants, "prosopis velutina" (Velvet Mesquite) are still visible.

A complete landscape planting plan, approved at the time of original entitlement, (sheet 12 of 23) accompanies this report. The landscape materials have been constantly maintained and replaced as necessary.

The entire site has heavy gauge steel picket fencing around it. A detail of the fence construction appears on sheet 6 of 23, which accompanies this report.

Views

Please refer to the accompanying photographs for a current depiction of the existing building and site.

Plan Proposal

As noted previously, the building will remain unchanged from its current material finishes and configuration. The building's design is unique in that it does not appear to be a typical neighborhood service shop. It will remain an attractive element within the community. The massing and height of the existing building is appropriate for its setting among other adjacent structures.

The building's placement on the site exceeds all setback requirements. The course of the "Naylor Wash" along the south and west property lines further sets the building back from Juarez Street and Alvernon Way.

Pole mounted LED security lighting illuminates the site. The poles are widely spaced and unobtrusive in appearance.

Vehicular use areas are depicted on the site plan exhibit. Parking stalls, including accessible parking stalls in addition to ADA compliant pedestrian paths of travel are also shown.

A large, multi bin trash enclosure (existing) is depicted on the site plan.

Neighborhood Meeting

On June 3, 2024, a "Neighborhood Meeting" was convened to advise interested parties of this rezoning effort. A notice to all parties noted on a mailing list was provided by city staff was mailed, allowing for the prescribed notice period. Copies of the notice, along with the mailing list and map exhibits accompany this report.

1305 S. Alvernon Way Tucson, AZ

Rezoning Application TP-PRE-0324-00063



1305 S. Alvernon Way Tucson, AZ

Rezoning Application TP-PRE-0324-00063



1305 S. Alvernon Way Tucson, AZ

Rezoning Application TP-PRE-0324-00063



1305 S. Alvernon Way Tucson, AZ

Rezoning Application TP-PRE-0324-00063

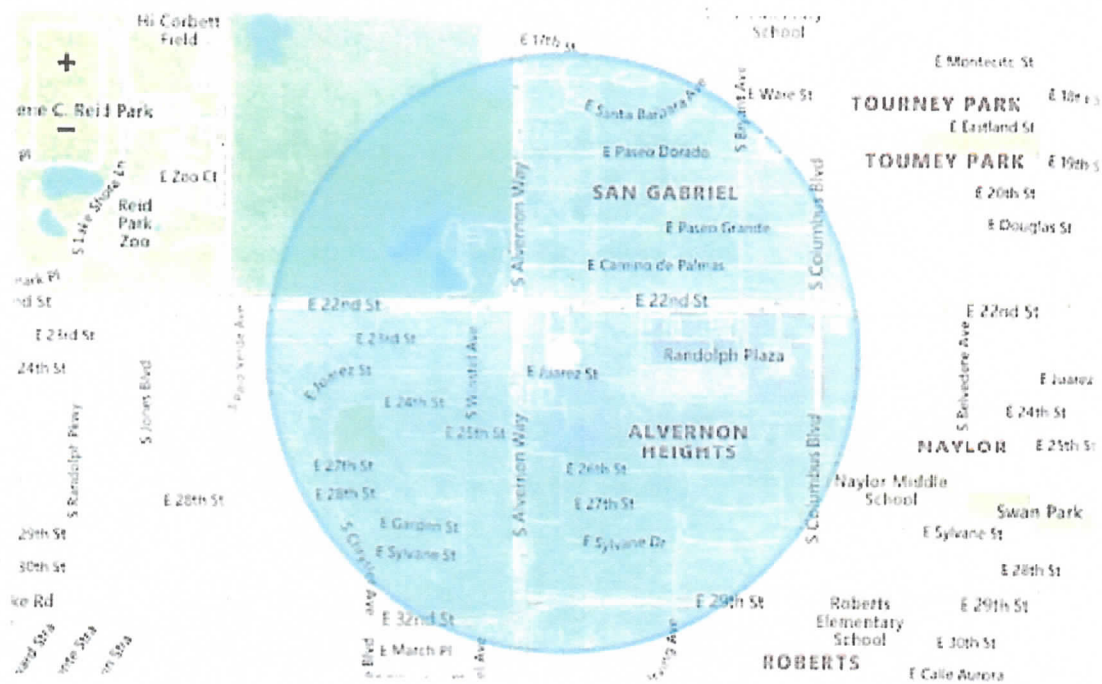


1305 S. Alvernon Way Tucson, AZ

Rezoning Application TP-PRE-0324-00063



Request for Zoning Designation Change from C-2 to C-3
1305 S. Alvernon Way, Tucson, AZ
APN 130-144-510
TP-PRE-0324-00063
Development Sponsor: Vet West Investment Group



Project Site Proximity Map
Blue circle indicates area within 1/2 mile of subject property

CITY OF TUCSON PUBLIC HEARING NOTICE

County Assessor records indicate that you are an owner of property located within 400 feet of parcel(s) that are being considered for a rezoning.

MEETING NOTE: This meeting will be held remotely through technological means, as permitted under Arizona law. These measures are in place to ensure that the discussions, deliberations and actions of the Zoning Examiner are transparent and conducted openly.

IN-PERSON ATTENDANCE BY MEMBERS OF THE PUBLIC WILL BE PROHIBITED.

The Zoning Examiner, on behalf of the Mayor and Council, conducts a public hearing and considers testimony for each rezoning in the City of Tucson. The Zoning Examiner may impose reasonable limitations on the number of speakers and the length of the testimony.

After the Public Hearing, the Zoning Examiner issues written reports with findings of fact and a recommendation. A preliminary report is issued five working days after the close of the public hearing. A final report is issued 14 days after the close of the public hearing and transmitted to the Mayor and Council. Any person may request a public hearing before Mayor and Council provided the written appeal is filed with the City Clerk within 14 days after the close of the Zoning Examiner's public hearing. The Mayor and Council make the final decision on all rezoning requests.

PUBLIC HEARING INFORMATION

Date: **September 5, 2024**

Time: **6:00 PM**

Please join the Zoning Examiner hearing from your computer, tablet, or smartphone. Members of the public may view, listen to, and participate in the hearing online by going to the Zoning Examiner website and clicking "Join Meeting" at the top of the page. The Zoning Examiner website may be accessed at the following location: <https://www.tucsonaz.gov/pdsd/zoning-examiner>.

You can also dial in using your phone.

United States: **+1 346-248-7799**, Meeting ID: **824 9464 9853** Passcode: **281408**

If you encounter difficulty accessing the hearing, please email TucsonRezoning@tucsonaz.gov for technical assistance.

The public has the following options to provide comment to the Zoning Examiner:

- 1) Members of the public may submit written comments prior to the hearing by sending an email to TucsonRezoning@tucsonaz.gov. The email should include the Zoning Examiner public hearing date, the case number or name, and your name. **Written comments must be received no later than 5:00 pm, September 4, 2024.**
- 2) Individuals wishing to speak during the hearing may join the hearing via teleconference and should submit a written request to TucsonRezoning@tucsonaz.gov. **Written request should be received by no later than 5:00 pm, September 4, 2024.** The email should include the Zoning Examiner public hearing date, your name, and the phone number you will use for the teleconference. The phone number provided will be used to identify the individual when/if being called upon to speak during the public hearing by the Zoning Examiner. Individuals wishing to speak but who did not submit a prior written request

will be provided instructions by the Zoning Examiner at the time of the hearing on how to provide comments.

APPLICANT

Randall Jepson
Peters Jepson Partnership
24465 Via Arriba Linda
Yorba Linda, CA 92887

PROPOSED REZONING

Case: TP-ENT-0624-00015 – Autobody Repair, 1305 S. Alvernon Way, C-2 to C-3 (Ward 6)

Requested Change: Autobody repair facility with spray booth.

Location: The site is located at the southeast corner of 22nd Street and Alvernon Way intersection.

Proposed Development: The proposed preliminary development plan retains the building height, setbacks, landscaping and traffic circulation.

Notificación de Audiencia Pública del Examinador de Zonificación

Para oír y tomar en reconsideración el siguiente caso: TP-ENT-0624-00015 – Autobody Repair, 1305 S. Alvernon Way, C-2 to C-3(Ward 6)

Cambio de Zonificación Solicitada: Taller de reparación de carrocerías con cabina de pintura.

Ubicación: El sitio está ubicado en la esquina sureste de la intersección de 22nd Street Craycroft y Alvernon Way.

Desarrollo Propuesto: El plan de desarrollo preliminar propuesto conserva la altura del edificio, los retranqueos, el paisajismo y la circulación del tráfico.

Si usted desea este documento escrito en español, por favor llame al número de teléfono: 520-791-5550

For further information, please call John Beall or Samuel Paz at 520-837-4973 or write to Planning & Development Services Department (PDSD) – Entitlement Section, P.O. Box 27210, Tucson, AZ 85726

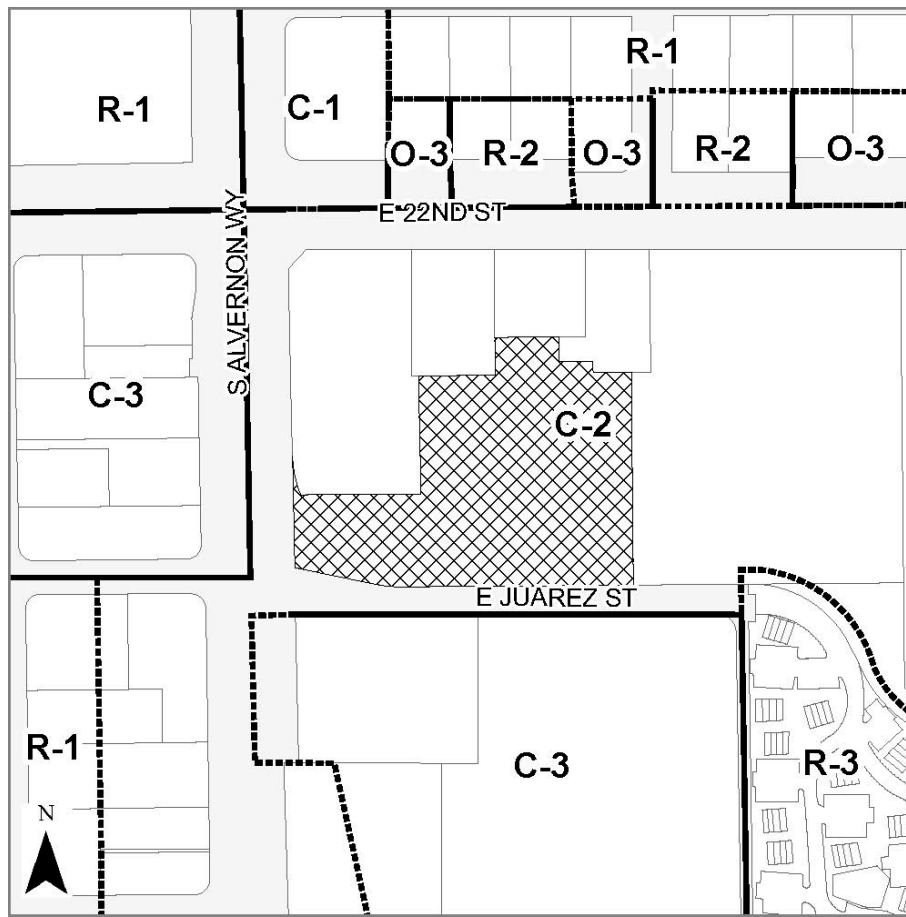
ZONING DISTRICT NARRATIVE SUMMARIES

For a complete description, refer to Unified Development Code, Chapter 23, Tucson Code, Section 4.3, which can be found at

https://codelibrary.amlegal.com/codes/tucson/latest/tucson_az_udc/0-0-0-1953#JD_UDC4.3

Existing: Commercial Zone (C-2): This zone provides for general commercial uses that serve the community and region. Residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses.

Proposed: Commercial Zone (C-3): This zone provides for mid-rise development of general commercial uses that serve the community and region, located downtown or in other major activity center areas. Residential and select other agriculture, civic, recreational, and utility uses may also be permitted that provide reasonable compatibility with adjoining residential uses



TP-ENT-0624-00015

For further information, please call John Beall (520-837-6966) or write to Planning & Development Services Department – Rezoning Section, 201 N. Stone Avenue, P.O. Box 27210, Tucson, AZ 85726

Additional information about this project, including the staff report to the Zoning Examiner and the Preliminary Development Plan, will be posted on the web by 5:00 PM, August 20, 2024, at <https://www.tucsonaz.gov/pdsd/public-hearing-agenda-materials-rezoning-special-exceptions-original-city-zoning>



Approval – Protest Form

If you wish to submit a written protest or approval, this form is provided for your convenience. Print your comments below, sign your name, and mail to the City of Tucson Planning and Development Services Department, Entitlements Section, 201 N. Stone Avenue, P.O. Box 27210, Tucson, Arizona 85726-7210. The number of approvals and protests along with protest calculations will be reported at the Zoning Examiner's public hearing. This form is not the City of Tucson Public Hearing Notice.

Protests from 20% of the property owners within 150' of the whole perimeter of the property being rezoned, including BOTH 20% of the property by area and 20% of the number of lots with 150', require an affirmative vote of $\frac{3}{4}$ of the Mayor and Council (5 of 7 council members) to approve the rezoning or special Exception ordinance. Public rights-of-way and the area/lot of the proposed rezoning are included in the protest calculations. Calculations will be provided to the Mayor and Council.

Case: TP-ENT-0624-00015 – Autobody Repair – 1305 S. Alvernon Way, C-2 to C-3, (Ward 6)

Property Owner(s) (PLEASE PRINT)

- ☐ APPROVE the proposed rezoning/special exception
☐ PROTEST the proposed rezoning/special exception

Reason(s):

PLEASE PRINT YOUR NAME	PLEASE PRINT PROPERTY ADDRESS	PLEASE PRINT MAILING ADDRESS

Date _____

Place
Stamp
Here

City of Tucson
Planning and Development Services Department
Entitlements Section
201 N. Stone
P.O. Box 27210
Tucson, Arizona 85726-7210

TP-ENT-0624-00015 SP

Expose this flap - Affix stamp and return



City of Tucson
Planning and Development Services
Department - Entitlements Section
201 N. Stone Avenue
P.O. BOX 27210
Tucson, Arizona 85726-7210

IMPORTANT LAND USE CHANGE NOTICE ENCLOSED